

DOWNTOWN OVERLAY DISTRICT

MULTIFAMILY RESIDENTIAL BUILDING

USE GROUP - R2;

TYPE OF CONSTRUCTION - 5B WITH AUTOMATIC FIRE SPRINKLERS

PARCEL ID 014.0-0000-0074.0

PARKING 34 SPACES
7 OUTSIDE
27 INSIDE

24 UNITS

LOT AREA	20,952 SF
ROOF AREA	7,200 SF
OUTSIDE PARKING	6,285 SF
ROOF OF SIDEWALK	714 SF

GREEN AREA 6,440 SF (0.24)
SIDE WALK AREA 1,194 SF

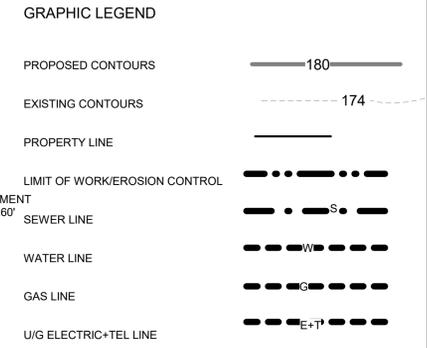
BUILDING GROSS AREA (2.5 FLOORS)	18,000 SF
BUILDING HEIGHT - FRONT	40'+/- FEET
BUILDING HEIGHT - REAR	49'+/- FEET
BUILDING HEIGHT - ABOVE AVERAGE GRADE	44.5'+/- FEET

HANDICAP 1/25 2 SPACES

# OF UNITS @ 800/SF LOT AREA	22.5
# OF UNITS @ 1500/SF LOT AREA	12
PROPOSED UNITS	24

OF PARKING SPACES REQD @ 1 1/2 /UNIT 36 SPACES

FAR 0.86



NO FIRE HYDRANT WITHIN 500 FT FROM ALL PROPERTY LINES

FOR MERGING INTO STREET TRAFFIC:
SIGHT DISTANCE - 250FT
(5 SECOND DISTANCE @ 35MPH)

OF TRIPS OUT 24 (7 AM TO 9AM)
OF TRIPS IN 24 (5 PM TO 7PM)

TRAFFIC CAPACITY 1800 VEHICLES / HR AT THE STREET

WATER CONSUMPTION AS PER CMR15 TITLE 5

20 UNITS AT 1 & 2 BEDROOMS = 30 @ 110 GPD PER BEDROOM - 3300 GPD
PEAK FLOW - 3.2 TIMES = 5280 GPD = 22GPM FOR 4 HOUR PERIOD
PUMP "ZOELLER- D264- 230V-4.7A-0.4HP" 20GPM AT 15FT HEAD.

THIS SITE DOES NOT HAVE 100 YEAR FLOOD PLAIN

"APPROVED BY THE PLANNING BOARD"

"PLAN COMPLIES WITH DESIGN STANDARDS AND LOCATION REQUIREMENTS OF PLANNING BOARD" AND "BOARD OF CONSERVATION"

TABLE OF ZONING DIMENSIONAL REQUIREMENTS - DOWNTOWN OVERLAY DISTRICT

SETBACKS REQUIRED	PROPOSED	WAIVER REQUESTED	EXISTING
FRONT - 0FT	8'-4"/33'-8"	YES	19'
SIDES - 0/15FT (RESIDENCE)	8'-6" / 39'-10"	YES	9'/68'
REAR - 0FT	13'-7"/34'-7"	YES	88'
PARKING SETBACKS			
FRONT-20FT	7'-0"	YES	40'
SIDE -10FT / 15FT	10'	YES	5'/26'
REAR -10FT	34'-6"	YES	37'
GRADIENT - .75% TO 5%	4%	NONE	3%
SPACE 8'X18'	34 SPACES 8'X18'	YES	19'
ACCESS ISLE 24'	18'	YES	19'
DENSITY - 800SF/UNIT	800 SF/UNIT	YES (BY SPECIAL PERMIT 9.4.5)	1 HOME
LANDSCAPE STRIP-5'WIDE	NONE AT S & W SIDE	YES	5'/26'
MIN 2 TREES/10 SPACES	13 TREES	NONE	SEVERAL
ACCESSIBLE SPACES 4%	2 SPACES	NONE	NONE
NO OF SPACES 36	34 SPACES	NONE	11 SPACES
LOT COVERAGE (IMPERVIOUS AREAS)90%	86%	NONE	45%
HEIGHT OF THE BUILDING 45'-0"	45'	NONE	18'

LALA ASSOCIATES ENGINEERS LLC

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CIVIL, ELECTRICAL & STRUCTURAL
ENGINEERING SERVICES

LIC.#40460-C(MA), 9227(NH),
84611(NY), 7736(VT)

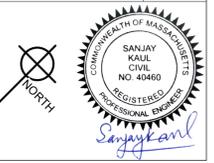
SIGN SUMMARY:

- HC PARKING SIGN
- HC VAN PARKING SIGN
- STOP SIGN AT EXIT.

TOTAL THREE SIGNS TO BE PROVIDED.

ALL SIGNS TO HAVE A 8" DIA. 4" DEEP CONCRETE PIER FOUNDATION WITH SIGN POST CAST IN THE FOUNDATION WITH ANTI ROTATION ANCHOR.

No.	Description	Date
1	REVISED NOTES AS PER PEER REVIEW	5-26-19



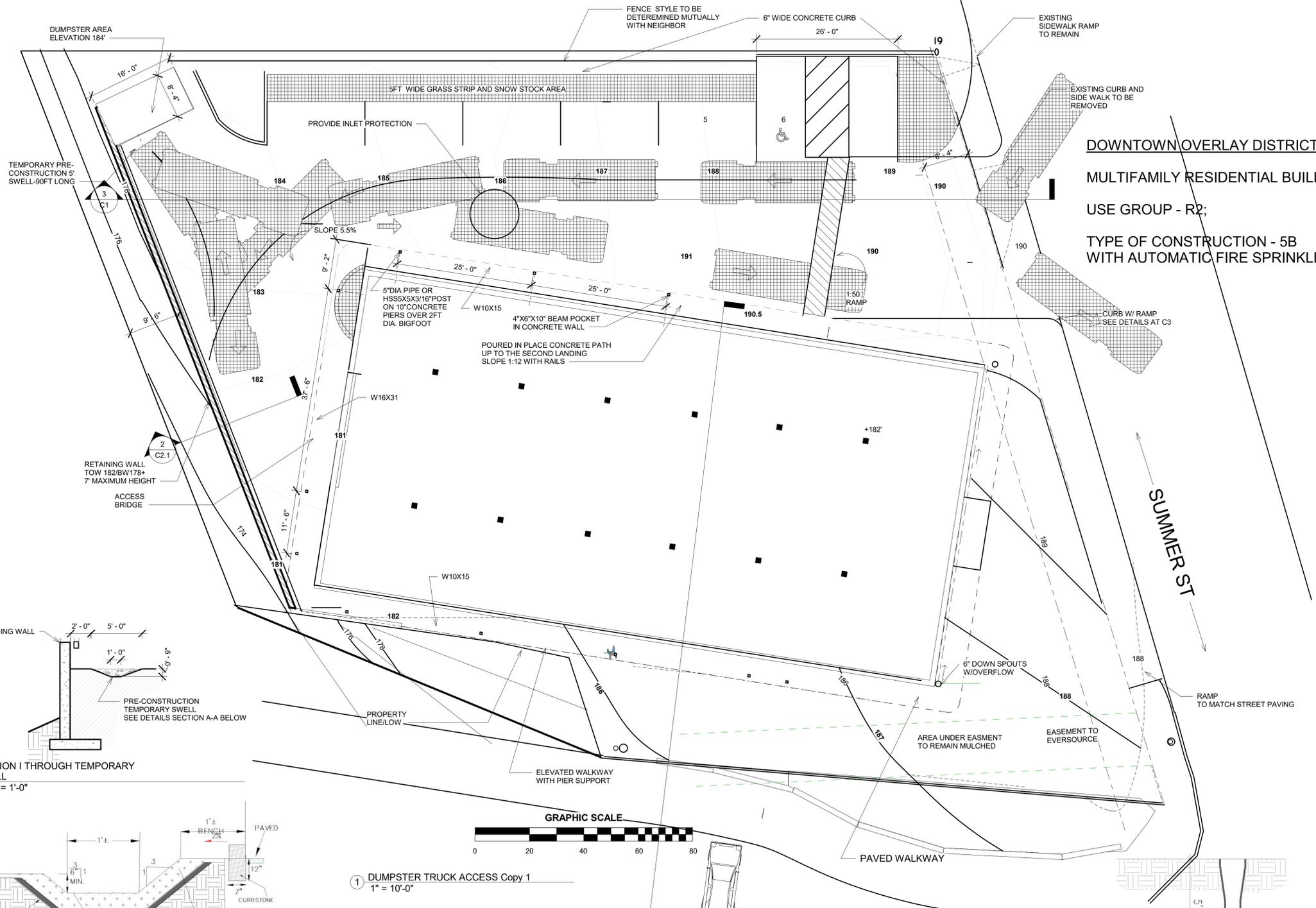
MAYNARD POINT MULTIFAMILY DEVELOPEMENT
JAMES MacDONALD
42 SUMMER ST. MAYNARD MA
781-307-1684

PROPOSED PARKING PLAN & SITE UTILITY PLAN

Project number	18031
Date	6-24-2019
Drawn by	DRV
Checked by	KL

C2

Scale As indicated

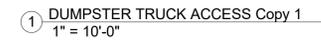
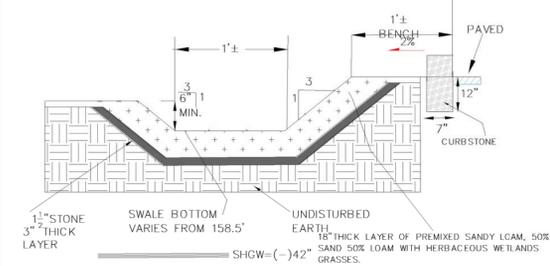
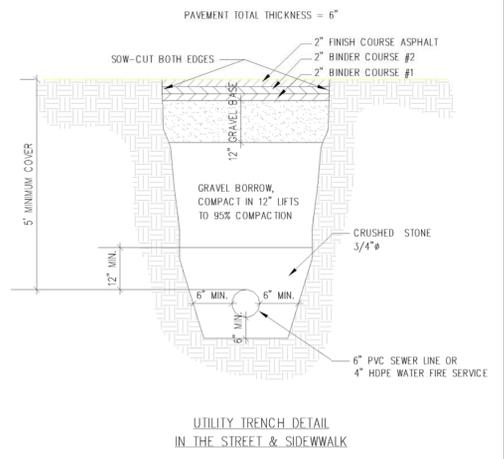


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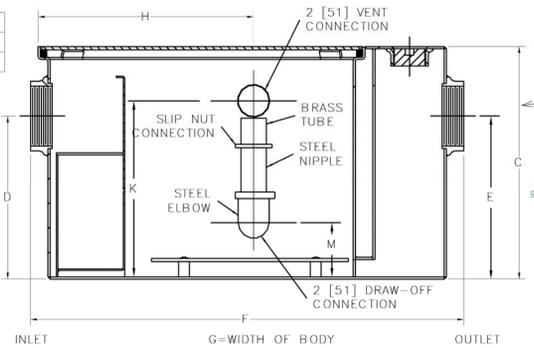
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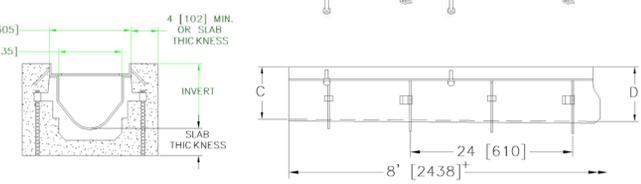


SWALE INFILTRATION CAPACITY AND VOLUME:
 1. VOLUME - 93'5\"/>

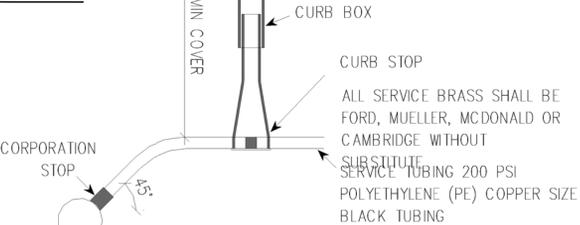
SWALE MUST BE MAINTAINED CLEAR OF ANY DEBRIS AND STAGING MATERIAL DURING CONSTRUCTION.



OIL & SEDIMENT INTERCEPTOR IMAGE AND SECTION



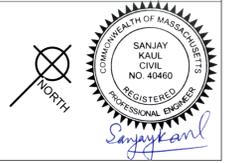
TYPICAL TRENCH DETAILS - ZURN MAKE



NOTES:
 1. ALL NEW SERVICES TO BE "WET TAPS" UNLESS OTHERWISE APPROVED BY THE TOWN WATER AND SEWER SUPERINTENDENT.
 2. SERVICES TO BE ONE CONTINUOUS LENGTH OF TUBING FROM WATER MAIN TO CURB STOP (NO UNIONS ALLOWED).
 3. NO SERVICES WILL BE ACCEPTED UNTIL SUCH TIME AS A CITY WATER & SEWER REPRESENTATIVE HAS OCCUPIED AND OPERATED THE VALVE TO HIS SATISFACTION.
 4. NO CURB BOX REQUIRED FOR THE FIRE LINE.

SERVICE TUBING CONNECTION

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PROPOSED DUMPSTER TRUCK PATH & CONSTRUCTION DETAILS

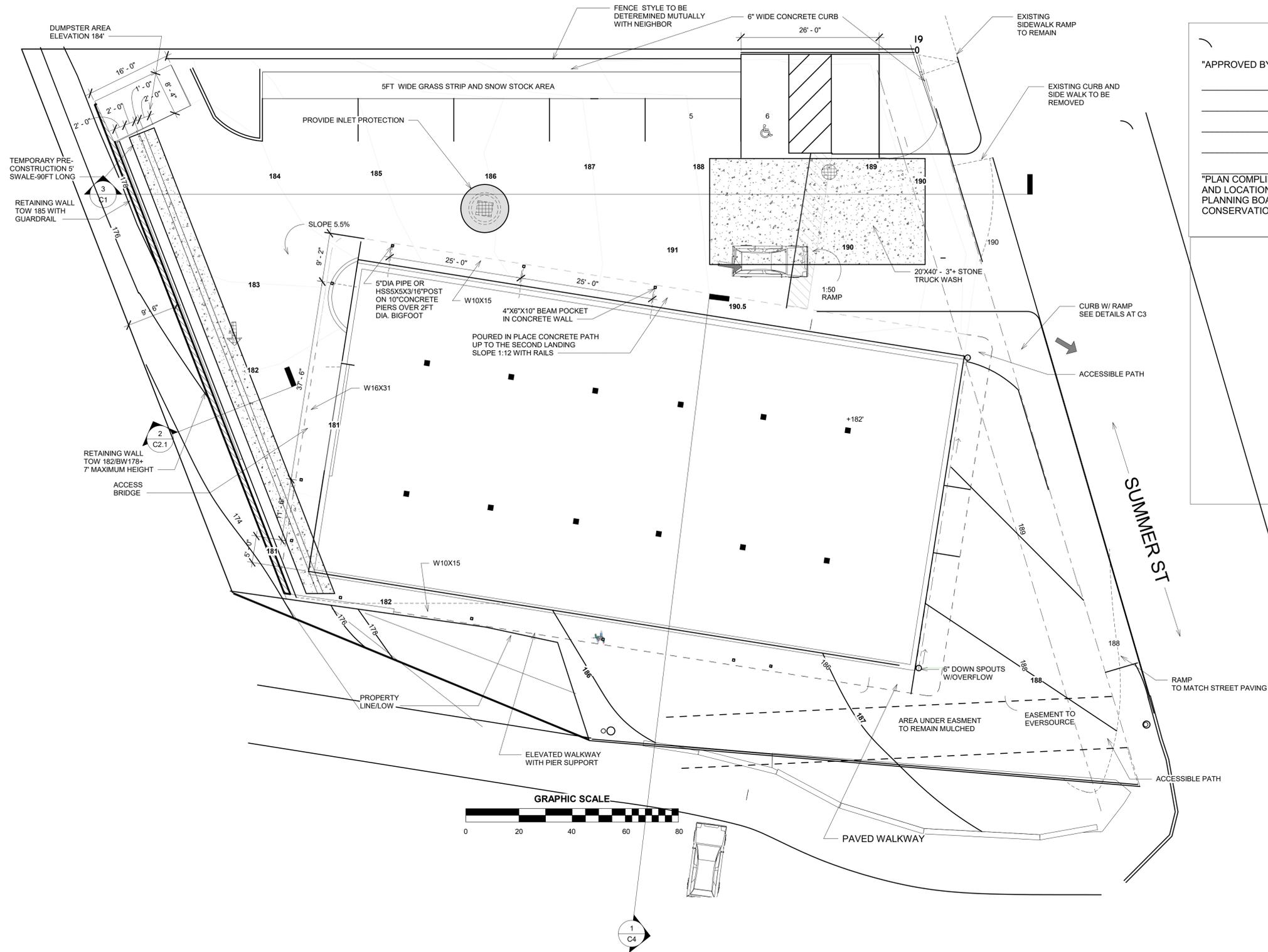
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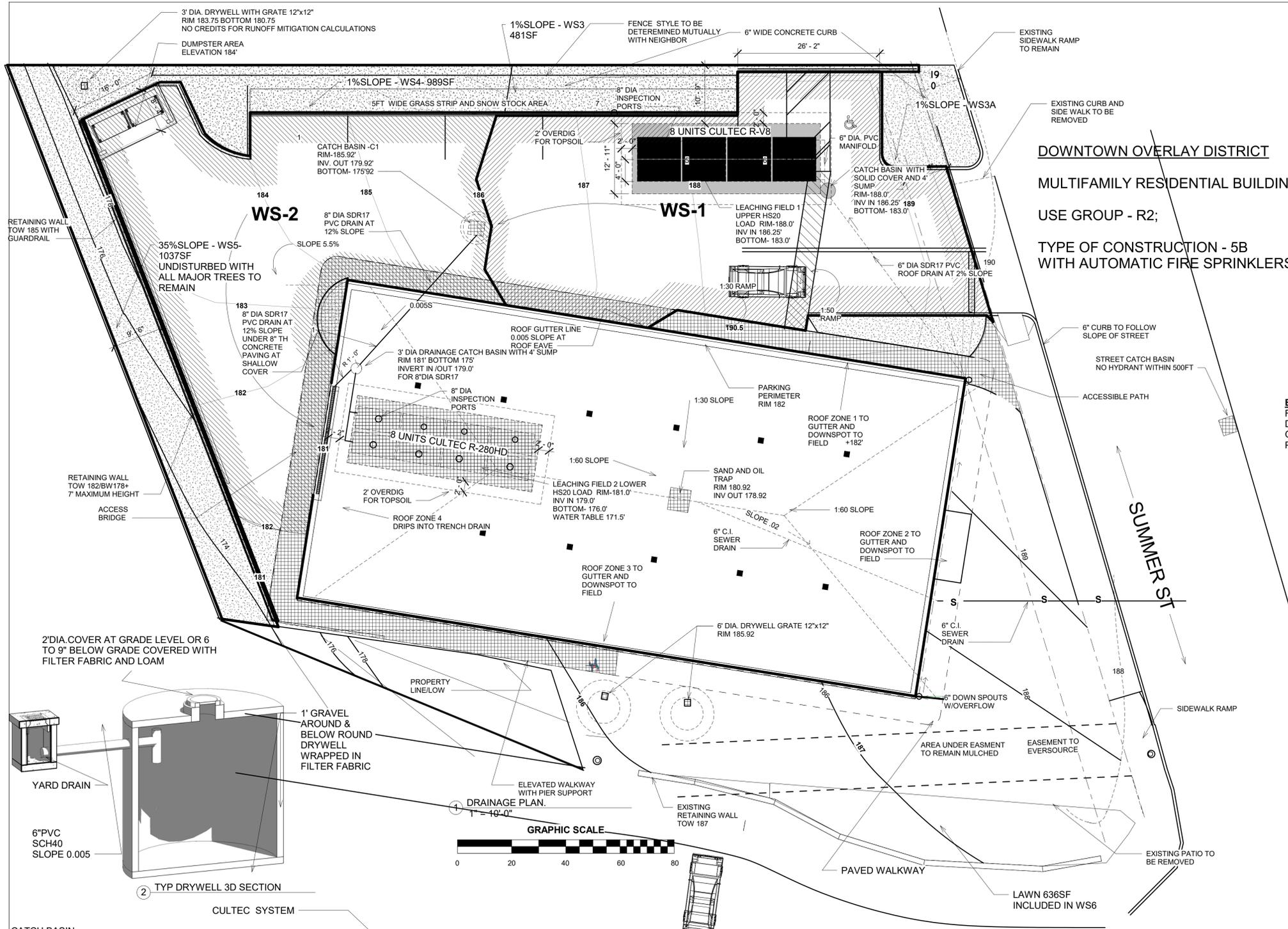
**EROSION CONTROL -
 Construction Phase**

Project number	18031
Date	6-24-2019
Drawn by	dv/kl
Checked by	kl/sk

C2.2

Scale 1" = 10'-0"

① EROSION CONTROL SWALE
 1" = 10'-0"



PARKING 34 SPACES
7 OUTSIDE
27 INSIDE

24 UNITS

LOT AREA	20,952 SF
ROOF AREA	6,960 SF
OUTSIDE PARKING	6,285 SF
ROOF of SIDEWALK	714 SF

GREEN AREA 6,072 SF [0.24]
SIDE WALK AREA 1,433 SF

BUILDING GROSS AREA (3 FLOORS) 20,880 SF
BUILDING HEIGHT - FRONT 36+/- FEET/ REAR 46+/-

HANDICAP 1/25 2 SPACES

OF UNITS @ 800/SF LOT AREA 22.5
OF UNITS @ 1500/SF LOT AREA 12
PROPOSED UNITS 24

OF PARKING SPACES REQD @ 1 1/2 /UNIT 36 SPACES

FAR 0.996

WS-1	3,423 SF / 5%
WS-2	3,149 SF / 8%
WS-3	481 SF / 1%
WS-4	989 SF / 1%
WS-5	1,037 SF / 35%
WS-6	4,913 SF / 2%
TOTAL WS	13,992 SF

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DOWNTOWN OVERLAY DISTRICT
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EXISTING	PROPOSED	CHANGE	
ROOF	2,066 SF ROOF	6,960 SF ROOF	+4,894 SF
DRIVEWAY	6,082 SF DRIVEWAY	6,725 SF DRIVEWAY	+ 643 SF
GREEN	8,148 GREEN	6,072 SF GREEN	-2,076 SF
PATHS -	NONE	1,433 SF PATHS	+1,433 SF

RUNOFF NOTES:
STORM RUNOFF RATE IS NOT INCREASED DUE TO PROPOSED IMPROVEMENTS FOR 2, 10 & 100 YEARS. ALL LEACHING FIELDS ARE DESIGNED FOR THE TOTAL RUNOFF FOR 100 YEAR STORMS.

PRE-DEVELOPEMENT PEAK RUNOFF RATES:
ALL RUNOFF SENT TO STREET AND NEIGHBORING PROPERTIES AS PER THE ORIGINAL TOPOGRAPHY.

PERIOD - DISCARDED OFF SITE
2YR - 0.68 CFS; 10YR -1.57 CFS;
100YR -1.7 CFS;

POST-DEVELOPEMENT ROOF RUNOFF RATES SENT TO LEACH FIELD#1:
2YR - 0.38 CFS; 10YR - 0.86 CFS
100YR - 0.94 CFS

POST-DEVELOPEMENT DRIVEWAY RUNOFF INCLUDING A GREEN AREA RATES SENT TO 4 DRYWELLS AND A LEACH FIELD#2:
RUNOFF SENT TO ON SITE DRYWELLS
2YR - 0.51 CFS; 10YR - 1.12 CFS;
100YR - 1.30 CFS
POST DEVELOPEMENT RUNOFF DISCARDED:
2YR - 0.18; 10YR - 0.60; 100YR - 0.84

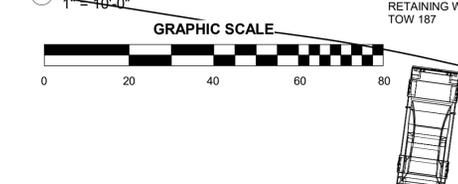
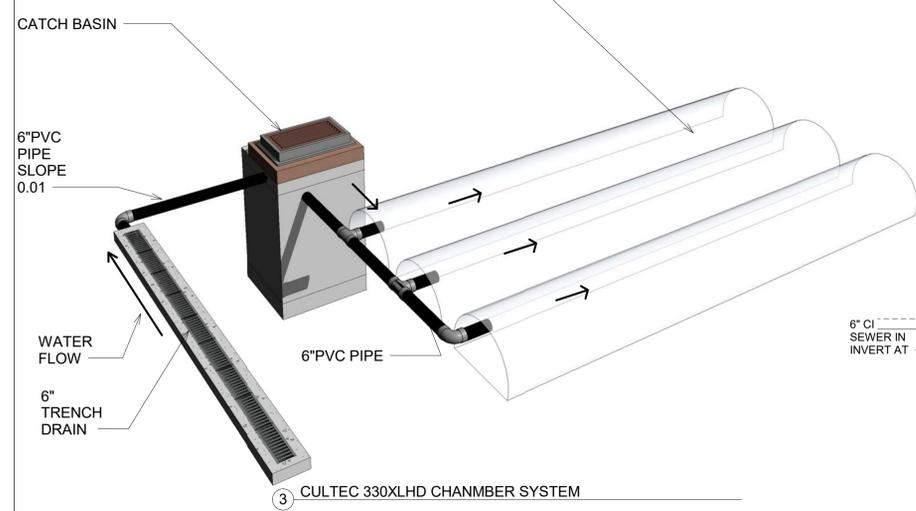
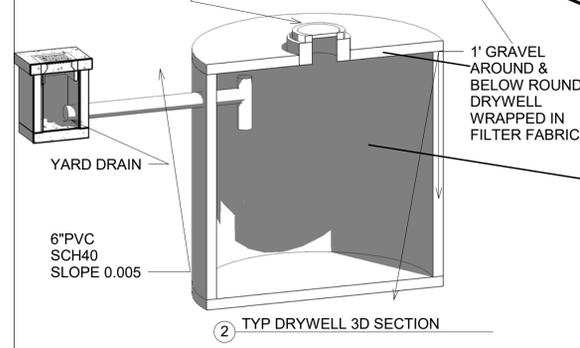
POST-DEVELOPEMENT TOTAL RUNOFF RATES
2YR - 0.38+0.51+0.18 =1.07 CFS;
10YR - 0.86 +1.12+0.60=2.58 CFS;
100YR- 0.94+1.30+0.84=3.08 CFS

INSIGNIFICANT AMOUNT OF RUNOFF SENT TO STREET. TOTAL REDUCTION IS 100% OF THE EXISTING PREDEVELOPEMENT RUNOFFS

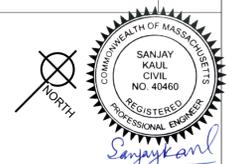
REQUIRED WATER QUALITY RECHARGE OF 1IN FOR PROPOSED ROOF AREA = 580CF
VOLUME SENT TO LEACHING FIELD#1 @ 2YR - 1.304CF+/-

1" RECHARGE - ACTUAL VOLUME SENT TO LEACHING FIELDS @ 2YR STORM 1.751CF FOR 8,158SF OF PAVEMENTS AT 2.5" AVG DEPTH ALL ABOVE CALCS BASE ON LOAMY SAND SOILS PERC RATE OF 10 MIN /INCH. 240% OF DESIGN RATE OF 24MIN/IN FOR CLASS I SOILS.

OPERATION AND MAINTENANCE SHCHEDULE:
SEE THREE PAGES LETTER SIZE ATTACHED TO THE HYDROLOGY REPORT



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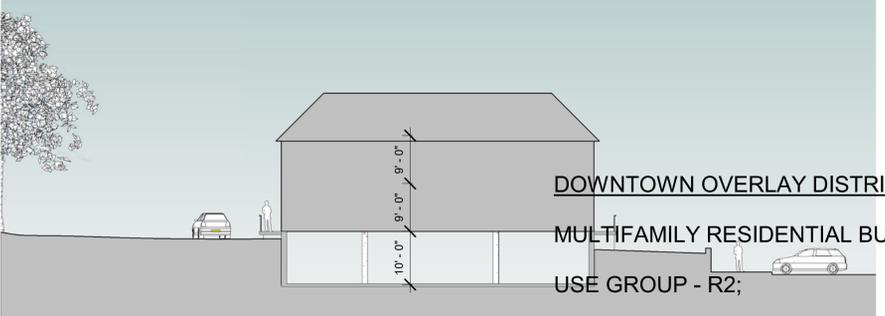
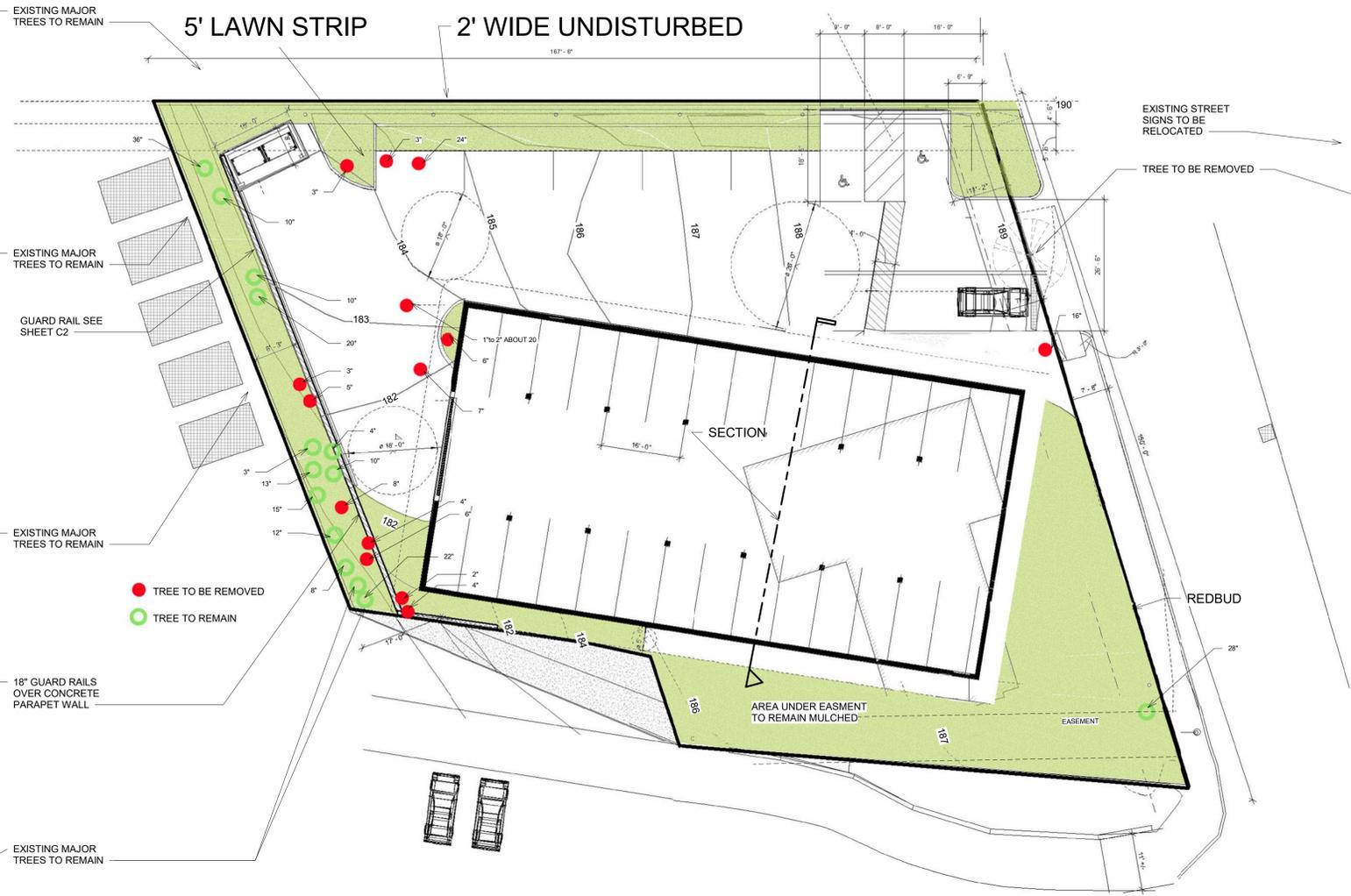
MAYNARD POINT MULTIFAMILY DEVELOPEMENT
JAMES MacDONALD
42 SUMMER ST. MAYNARD MA
781-307-1684

PROPOSED DRAINAGE

Project number 18031
Date 6-24-2019
Drawn by DRV
Checked by KL

C3.1

Scale As indicated



SECTION THROUGH PROPOSED BUILDING AND X-ING ROAD
1/16" = 1'-0"

DOWNTOWN OVERLAY DISTRICT
MULTIFAMILY RESIDENTIAL BUILDING
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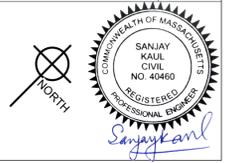
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LANDSCAPE MAINTENANCE:
 MAYNARD POINT IS RESPONSIBLE FOR THE
 BUDGET, AND MACDONALD PROPERTY
 MANAGEMENT WILL PERFORM THE
 MAINTENANCE WORK

- INSTALLATION SPECIFICATIONS
- 1- PROVIDE 3' DEEP HOLES FOR ALL BUSHES AND PERENNIAL FLOWERS
 - 2- FILL AROUND THE PLANTED BUSH WITH A MIX OF HUMUS AND LOAM
 - 3- FERTILIZE AFTER PLANTING FOR MINIMUM TWO MONTHS
 - 4- ARRANGE FOR DAILY WATERING FOR MINIMUM ONE MONTH
 - 5- REPLACE ANY BUSHES THAT DID NOT ESTABLISH WITHIN THREE WEEKS
 - 6- TREES MUST BE AT LEAST 3" CALIBER WHEN PLANTED
 - 7- LAWNS SHOULD BE SEEDDED IN EARLY SPRING OR IF DELAYED INSTALLATION MUST BE WITH SOD

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TREE PLAN

Project number	18031
Date	6-24-2019
Drawn by	DRV
Checked by	KL

C4

Scale 1/16" = 1'-0"

DOWNTOWN OVERLAY DISTRICT

MULTIFAMILY RESIDENTIAL BUILDING

USE GROUP - R2;

TYPE OF CONSTRUCTION - 5B
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MULTIFAMILY BUILDING IN
DOWNTOWN OVERLAY DISTRICT

L.O.W.+EROSION CONTROL+
SILT FENCE FOLLOWS PROPERTY
LINE ON THREE SIDES

DUMPSTER AREA
ELEVATION 184'

EROSION CONTROL / LOW

RETAINING WALL
TOW 185 WITH GUARDRAIL

RETAINING WALL
TOW 184/BW178+
7' MAXIMUM HEIGHT

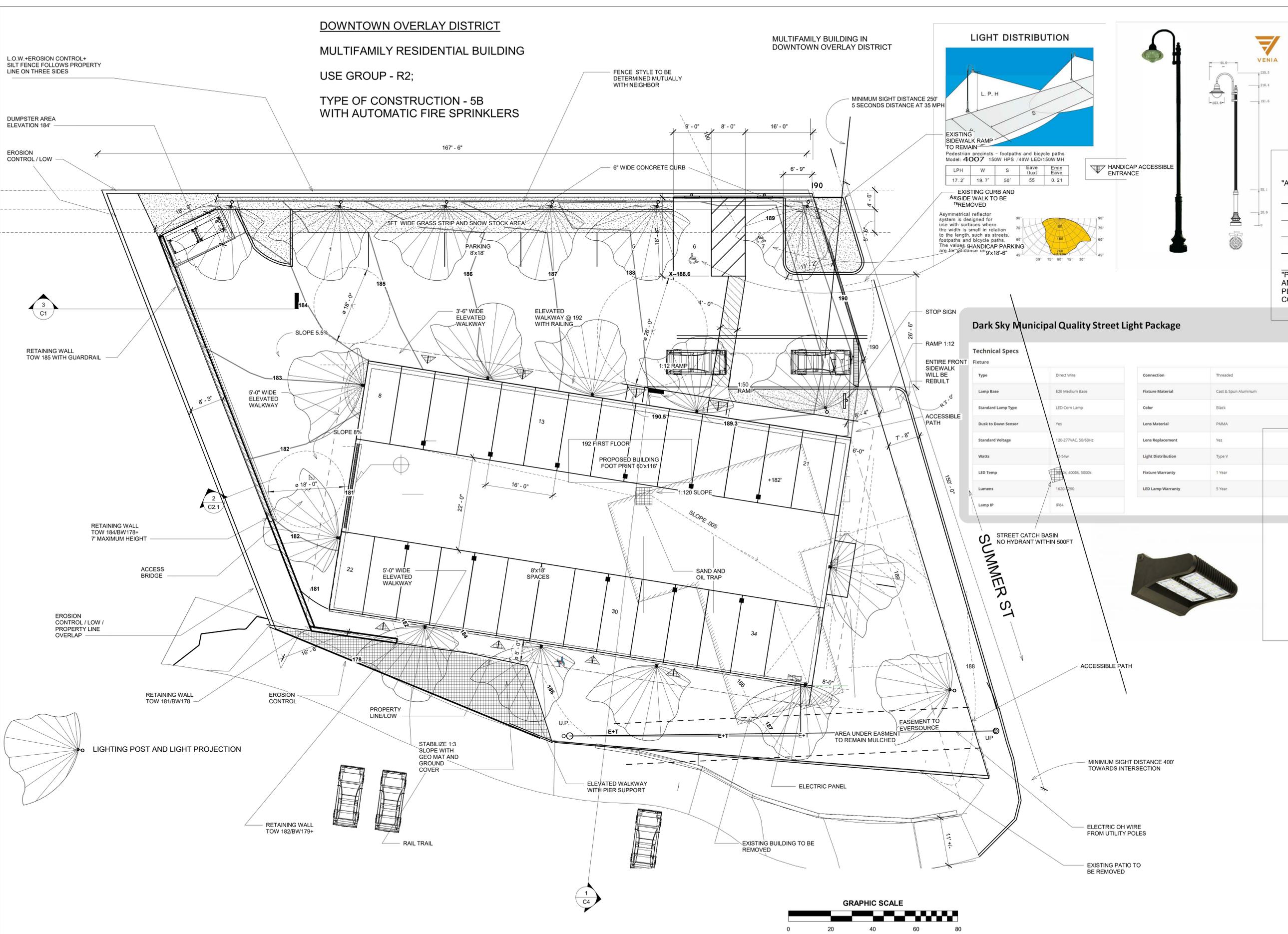
EROSION CONTROL / LOW /
PROPERTY LINE OVERLAP

RETAINING WALL
TOW 181/BW178

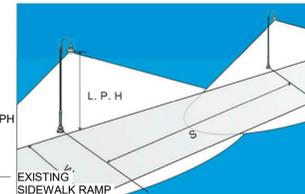
EROSION CONTROL

RETAINING WALL
TOW 182/BW179+

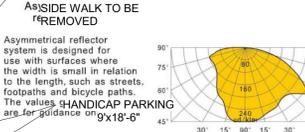
1 PROPOSED PLAN - SITE LIGHTING
1" = 10'-0"



LIGHT DISTRIBUTION



EXISTING CURB AND
SIDEWALK TO BE
REMOVED



HANDICAP ACCESSIBLE
ENTRANCE



Dark Sky Municipal Quality Street Light Package

Technical Specs			
Fixture	Direct Wire	Connection	Threaded
Type	E36 Medium Base	Fixture Material	Cast & Spun Aluminum
Lamp Base	LED Corn Lamp	Color	Black
Standard Lamp Type	Yes	Lens Material	PMMA
Dusk to Dawn Sensor	120-277VAC 50/60Hz	Lens Replacement	Yes
Standard Voltage	150w	Light Distribution	Type V
Watts	1600-2500	Fixture Warranty	1 Year
LED Temp	4000K, 5000K	LED Lamp Warranty	5 Year
Lumens	IP64		
Lamp IP			



SUMMER ST

MINIMUM SIGHT DISTANCE 400'
TOWARDS INTERSECTION

GRAPHIC SCALE



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SITE LIGHTING PLAN

Project number	18031
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Drawn by	Author
Checked by	Checker

C5

Scale 1" = 10'-0"

6/24/2019 4:19:42 PM



EXISTING ENTRANCE



SUMMER STREET LOOKING EAST



SUMMER STREET LOOKING WEST



CORNER WITH MAPLE STREET



RAIL TRAIL ALONG CONCRETE WALL



EXISTING CONCRETE WALL AT EAST P.LINE



EXISTING PARKING LOT WITH NEIGHBOR



RAIL TRAIL AT SOUTH EAST CORNER



EXISTING UTILITY POLE WITH SERVICE



EXISTING ENTRANCE TO LANDOIL LOT



EAST ELEVATION OF THE EXISTING BUILDING



EXISTING TREE LINE NEXT TO TANKS



EXISTING GREEN SLOPE TO BE RIPRAPPED



EXISTING ENTRANCE OF THE HOME

**DOWNTOWN
OVERLAY
DISTRICT**

**MULTIFAMILY
RESIDENTIAL
BUILDING**

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**EXISTING CONDITIONS
PHOTOS**

Project number	18031
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C6

Scale