

# MAYNARD SQUARE MULTIFAMILY DEVELOPEMENT

Building Height 42'-2"  
Total Gross Area 27,002SF

Developer: James G. MacDonald - MacDonald Development, Inc. 10  
Main Street Maynard, MA 01754, 781-307-1684

Prepared by: Lala Associates Engineers

The Town of Maynard  
MassDEP  
Army Corps of Engineers



- C0 - Existing Conditions Survey prepared by Foresite Engineering
- C1- Pre-Development Watersheds & Erosion Control Details
- C2- Proposed Grading, Paving, & Utility Plan
- C3- Drainage Plan
- C3.1- Details
- C3.2- Details 2
- C4- Proposed Site Lighting
- C5- Existing Site Photos
- C6- Proposed Parking
- C7- Proposed Municipal Lot Re-Striping
- WR1- Riverside Retaining Wall



**MacDonald**  
DEVELOPMENT INC

LALA ASSOCIATES ENGINEERS LLC

37 OLD VILLAGE ROAD  
ACTON, MA 01720  
(978)337-5252  
lalaengineers@gmail.com

CIVIL, ELECTRICAL & STRUCTURAL  
ENGINEERING SERVICES

LIC.#40460-C(MA), 9227(NH),  
84611(NY), 32768(VA), 7736(VT)

| No. | Description                      | Date    |
|-----|----------------------------------|---------|
| 1   | REVISED NOTES AS PER PEER REVIEW | 5-26-19 |
|     |                                  |         |
|     |                                  |         |

MAYNARD SQUARE MULTIFAMILY  
DEVELOPEMENT  
JAMES MacDONALD  
115 Main Street, Maynard, MA01754  
781-307-1684

COVER SHEET

Project number .  
Date 1-6-2020  
Drawn by DRV  
Checked by KL

**C**

Scale

"APPROVED BY THE PLANNING BOARD"



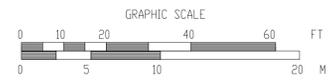
SITE DATA

LOCUS: 115 MAIN STREET, MAYNARD, MA  
RECORD OWNER: MACDONALD DEVELOPMENT, INC.  
MAYNARD ASSESSORS REFERENCE: MAP 14 PARCEL 145  
MIDDLESEX COUNTY REGISTRY OF DEEDS: BOOK 70630 PAGE 221  
PLAN 449 OF 1934, PLAN 221 OF 1987, PLAN 53 OF 2005, PLAN 839 OF 2013  
1926 COUNTY LAYOUT MAIN STREET, 1914 B&M R.R. R.O.W. TRACK MAP V.36-3/2 IN PLAN BOOK 442 PLAN 117

ZONING DISTRICT: CB - CENTRAL BUSINESS  
MINIMUM AREA:  
MINIMUM FRONTAGE:  
MINIMUM FRONT YARD:  
MINIMUM SIDE YARD: 0 FT  
MINIMUM REAR YARD: 0 FT  
MAX. COVER BY BUILDINGS: N/A  
MAX. COVER BY IMPERVIOUS: N/A  
MAX. BUILDING HEIGHT: 40 FT  
MIN. % LOT AREA LANDSCAPE OPEN: 0%

LEGEND

- HYD. HYDRANT
V WATER UTILITIES
SMH O SEWER MANHOLE
UP. UTILITY POLE
DMH O DRAIN MANHOLE
CB □ CATCH BASIN
G GAS UTILITIES
-XXX- EXIST. 5-FT CONTOUR
XXX EXIST. 1-FT CONTOUR



EXISTING CONDITIONS PLAN
115 MAIN STREET
MAYNARD, MASSACHUSETTS
ASSESSORS MAP 14 PARCEL 145
PREPARED FOR:
MACDONALD DEVELOPMENT, INC.
10 MAIN STREET
MAYNARD, MASSACHUSETTS 01754
REV. 11/2/18
DATE: AUGUST 21, 2018 SCALE: 1 INCH = 20 FEET
www.foresitel.com
FORESITE ENGINEERING
ENGINEERING · SURVEYING · PLANNING
16 Gleasondale Road Suite 1-1
Stow, Massachusetts 01775
Phone: (978) 461-2350 2075EC.20

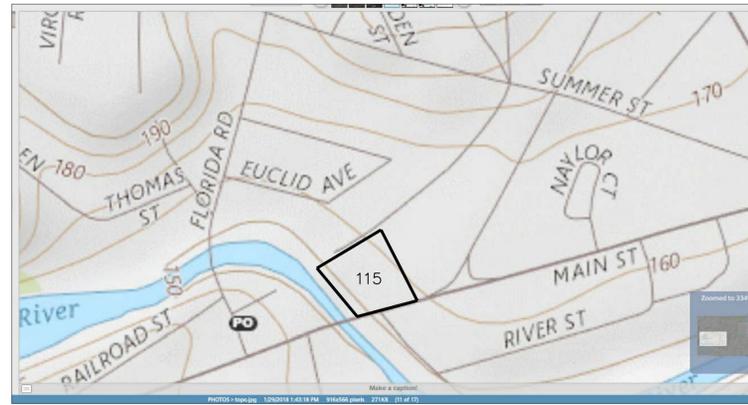
- DRAINAGE STRUCTURES - "OPERATION & MAINTENANCE PLAN":
- THE CATCH BASIN MUST BE CLEANED TWICE A YEAR, 1ST AT THE END OF FALL SEASON AND 2ND AT THE BEGINNING OF THE SPRING SEASON.
  - THE DRYWELLS MUST BE INSPECTED FOR THE SILT DEPOSITS AT THE BOTTOM AT THE END OF THE WINTER. IF REQUIRED BOTTOM LAYER OF SILT BE PROPERLY REMOVED IF MORE THAN ONE INCH IN DEPTH.
  - THE DRYWELLS MUST BE INSPECTED ONCE EVERY YEAR AND CLEANED AS DESCRIBED IN LINE 2 ABOVE. THE FREQUENCY OF INSPECTION MAY BE DECREASED TO ONCE EVERY THREE YEARS IF THERE ARE INSIGNIFICANT SILT DEPOSITS.
  - THE ITEMS TO BE ROUTINELY MAINTAINED ARE - A. CATCH BASINS (S), B. LEACHING FIELDS(2) & C. TRENCH DRAIN

OPERATION AND MAINTENANCE:
I HEREBY STATE THAT THE PROPOSED DRAINAGE STRUCTURES, UTILITY LINES AND PAVINGS SHOWN HEREON ARE DESIGNED BY ME AS PER THE CURRENT TOWN AND STATE REGULATIONS. THE STORM DRAINAGE STRUCTURES WILL BE OWNED BY THE ASSOCIATION. ALL THE CATCH BASINS, DRYWELLS & DRAINS WILL BE MAINTAINED BY THE HOME OWNER AND RECORDS OF CLEANING WILL BE SUBMITTED TO LOCAL CONSERVATION COMMISSION & / OR BOARD OF HEALTH. COPY OF THE MAINTENANCE SCHEDULE IS ATTACHED WITH HYDROLOGY REPORT

FLOOD PLAIN COMPENSATORY VOLUME REQUIREMENTS:
THIS SITE IS BASICALLY IN CUT AS THE BASEMENT IS BEING EXCAVATED AND THE STORM WATER WILL BE PUMPED TO A LEACHING FIELD FOR A TYPICAL INTENSITY OF 2 TO 25 YEARS WITHOUT ADDING TO THE RESOURCE AREAS AND THE STREAM.
THE NET CUT IN THE PROPOSED WORK IS OVER 16,800 CF

|   |   |                                |              |                 |                |              |
|---|---|--------------------------------|--------------|-----------------|----------------|--------------|
| OWNER: Project Plans For: MAYNARD SQUARE 115 MAIN STREET MAYNARD MA | OWNER: MacDonald Development 115 Main Street, Maynard, MA01754 781 307 1684 | DRAWING TITLE: EXISTING SURVEY | DESIGNED BY: | SCALE: 1" = 20' | DATE: 1-6-2020 | DRAWING # CO |
|---|---|--------------------------------|--------------|-----------------|----------------|--------------|

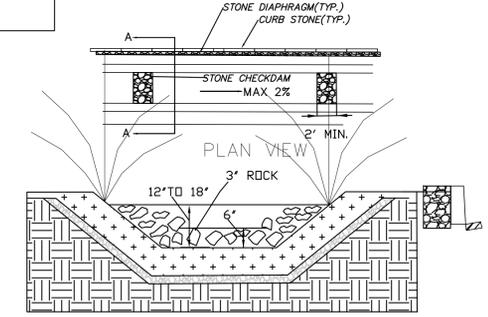
"APPROVED BY THE PLANNING BOARD"



DOWNTOWN OVERLAY DISTRICT  
 MULTIFAMILY RESIDENTIAL BUILDING  
 USE GROUP - R2; TYPE OF CONSTRUCTION - 5B  
 WITH AUTOMATIC FIRE SPRINKLERS

CONSTRUCTION DRAINAGE PLAN

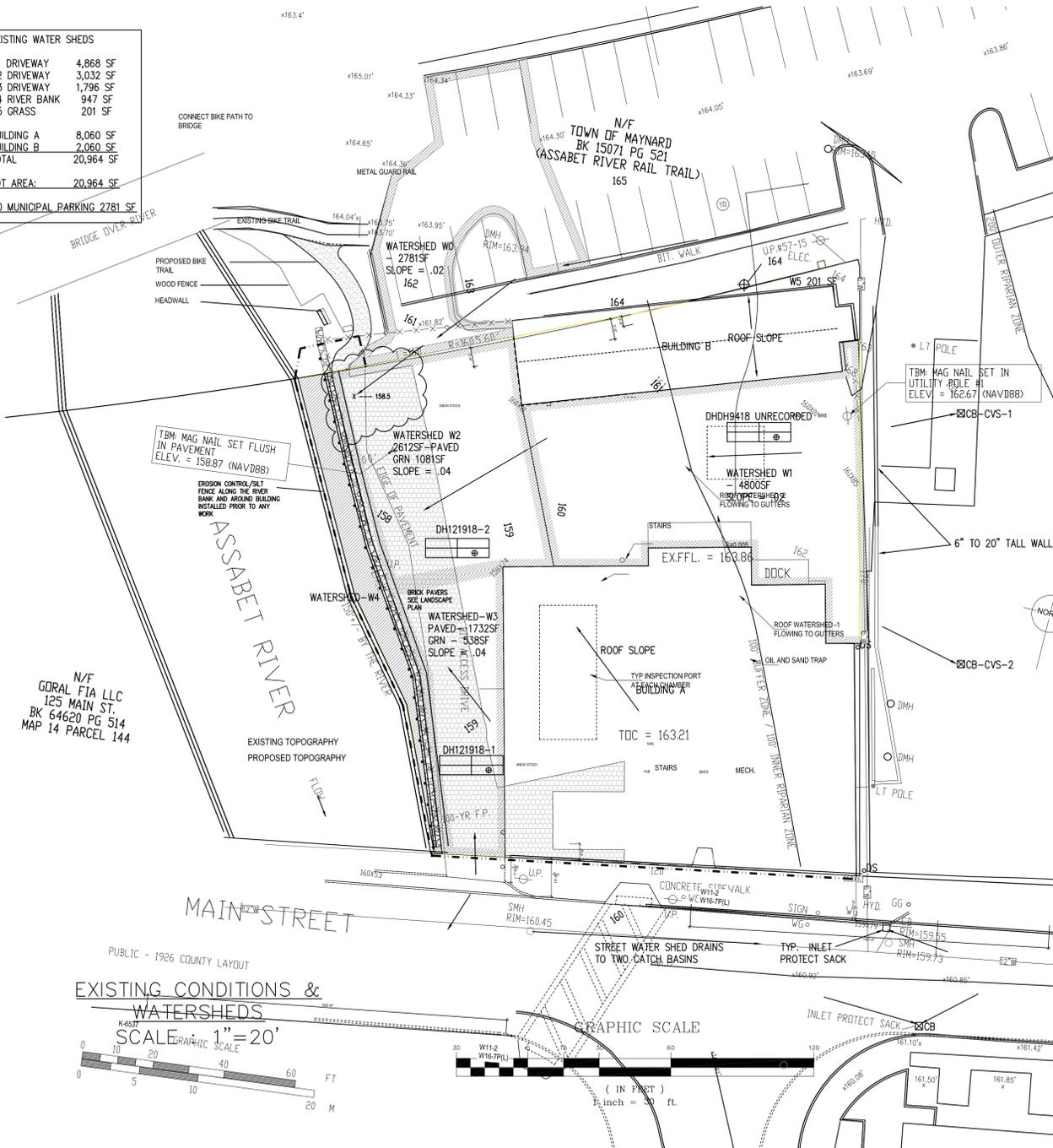
A TEMPORARY SWALE OR RETENTION POND WILL BE DUG AT THE LOW POINT ELEVATION 158'.  
 THE SWALE IS PROPOSED TO BE 1000SF IN AREA AND 3' DEEP AT THE MIDDLE WITH 1:3 SLOPE BANKS PROVIDING 1500CF STORAGE.  
 AS PER HYDROLOGY CALCULATIONS ALL THE IMPERVIOUS AREAS ONCE BUILT WILL REQUIRE A RUNOFF VOLUME FOR A TWO YEAR STORM AT 1000GF.  
 THEREFORE PROPOSED SWALE WILL BE ADEQUATE TILL THE END OF THE PROJECT. THE PROPOSED SWALE IS LOCATED IN THE AREA THAT WILL BE LANDSCAPED AS GREEN AREA.  
 THUS IT WILL NOT AFFECT THE CONSTRUCTION SEQUENCING. THE SWALE WILL BE EVENTUALLY BACKFILLED ONCE THE TWO LEACHING FIELDS ARE COMMISSIONED TO ACCEPT THE RUNOFF.



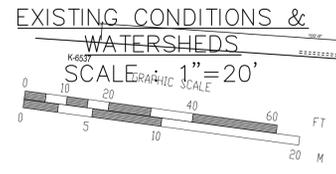
CROSS SECTIONAL A-A VIEW  
 INDICATES LOCATION ON THE PLAN  
 CHECK DAM DETAIL  
 SCALE: 1/2"=1' FOR VEGETATED SWALE 2% SLOPE

EXISTING WATER SHEDS

|                      |           |
|----------------------|-----------|
| W1 DRIVEWAY          | 4,968 SF  |
| W2 DRIVEWAY          | 3,032 SF  |
| W3 DRIVEWAY          | 1,796 SF  |
| W4 RIVER BANK        | 947 SF    |
| W5 GRASS             | 201 SF    |
| BUILDING A           | 8,060 SF  |
| BUILDING B           | 2,060 SF  |
| TOTAL                | 20,964 SF |
| LOT AREA:            | 20,964 SF |
| WO MUNICIPAL PARKING | 2781 SF   |



EROSION CONTROL PLAN SCALE :  
 1"=20'



"APPROVED BY THE PLANNING BOARD"

PROPOSED CONTOURS

EXISTING CONTOURS

PROPERTY LINE

LIMIT OF WORK/EROSION CONTROL

SEWER LINE

WATER LINE

GAS LINE

U/G ELECTRIC+TEL LINE

W  
G  
U  
G  
E

TABLE OF ZONING DIMENSIONAL REQUIREMENTS - DOWNTOWN OVERLAY DISTRICT

LOT ID # 014.0-0000-0145.0

| SETBACKS REQUIRED             | PROPOSED                                   | WAIVER REQUESTED | EXISTING              |
|-------------------------------|--|------------------|-----------------------|
| FRONT - 10FT                  | 0'/3'                                      | YES              | 0"                    |
| SIDES - 0FT                   | 3FT  | NONE             | 0"                    |
| REAR - 0FT                    | 22'-1"                                     | NONE             | 0"                    |
| <b>PARKING SETBACKS</b>       |  |                  |                       |
| FRONT-20FT                    | 20'-0"                                     | NONE             | 81'                   |
| SIDE -10FT                    | 24'-6"                                     | NONE             | 0'                    |
| REAR -10FT                    | 0'-0"                                      | YES              | 19'                   |
| GRADIENT- .75% TO 5%          | 4%   | NONE             | 2%                    |
| SPACE 9'X18.5'                | 2 SPACES 9'X16'                            | YES              | REGULAR               |
| ACCESS ISLE 24'               | 18'  | YES              | 24'                   |
| DENSITY - 800SF/UNIT          | 26 UNITS 813SF                             | NONE             | N/A                   |
| <b>LANDSCAPE STRIP-5'WIDE</b> |  |                  |                       |
| MIN 2 TREES/10 SPACES         | 21' FT<br>17 EXISTING TREES<br>6 NEW TREES | NONE             | NONE<br>17 TREES      |
| <b>ACCESSIBLE SPACES 2%</b>   |  |                  |                       |
| NO OF SPACES 39+3             | 2 SPACES<br>32 SPACES                      | NONE<br>YES      | 1 SPACES<br>11 SPACES |

WATER CONSUMPTION AS PER CMR15 TITLE 5

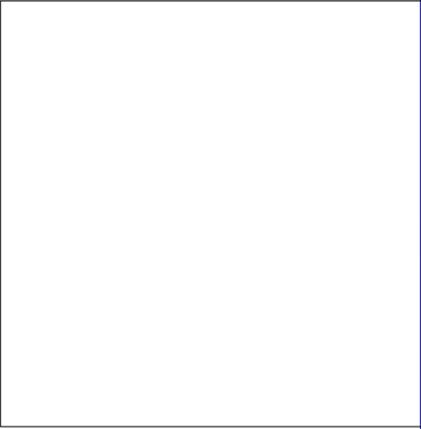
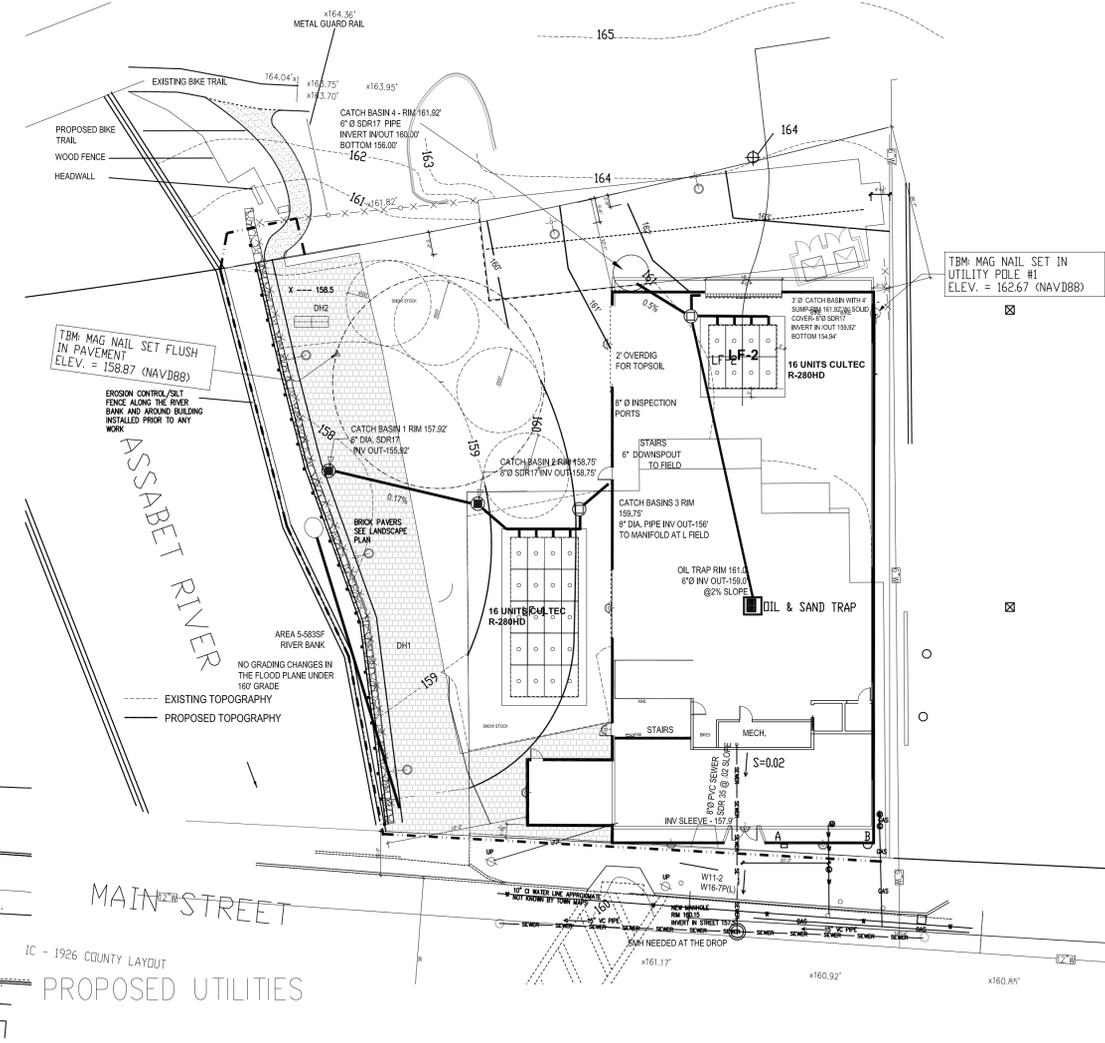
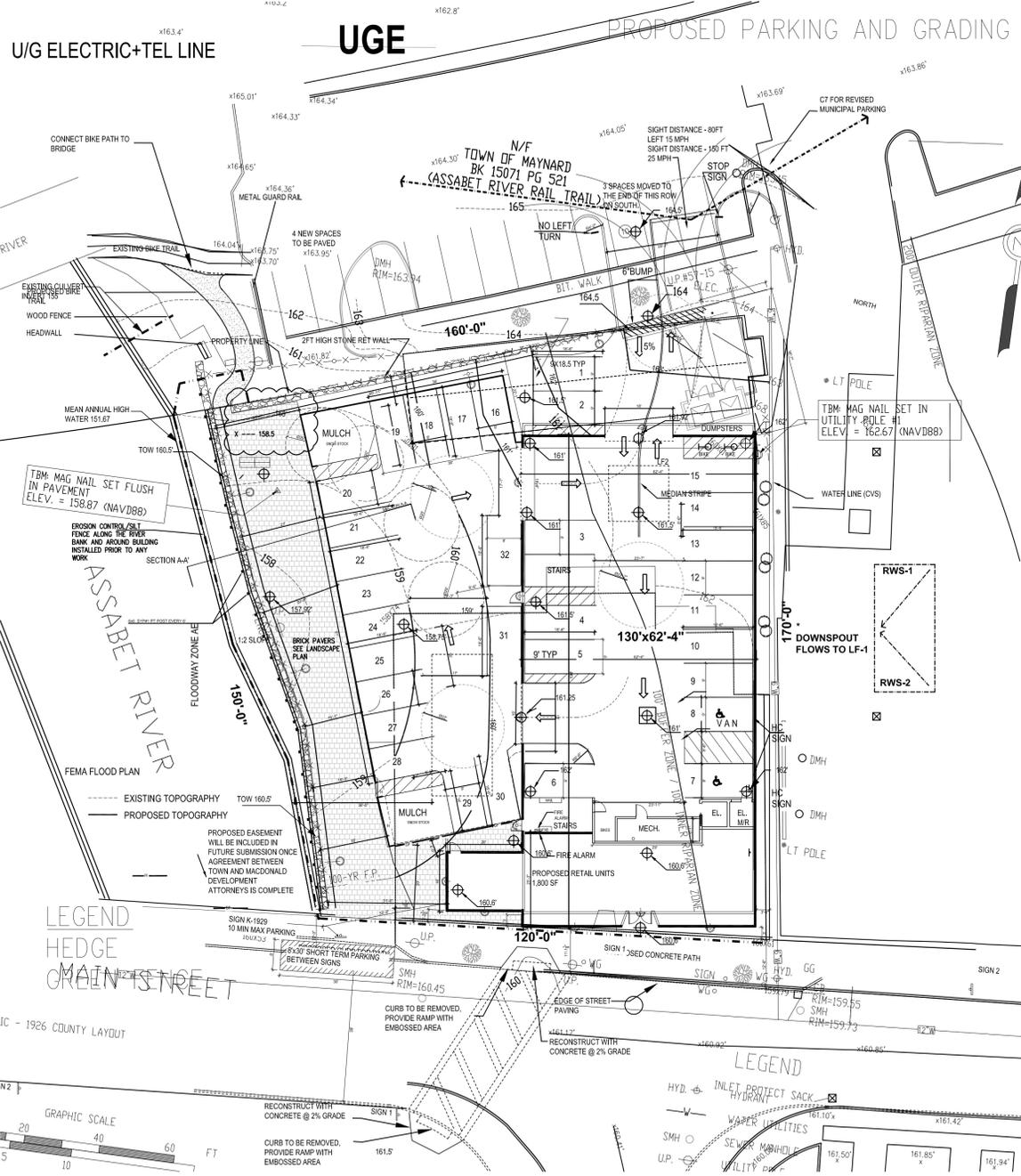
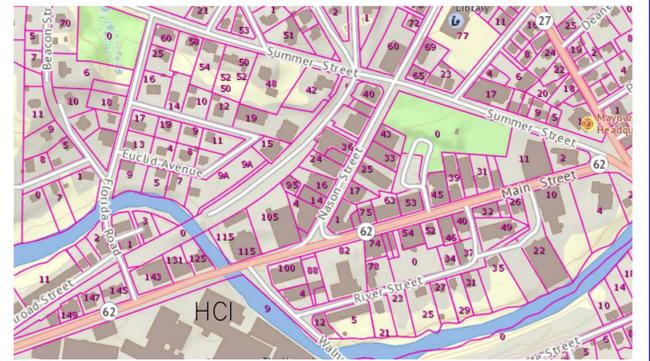
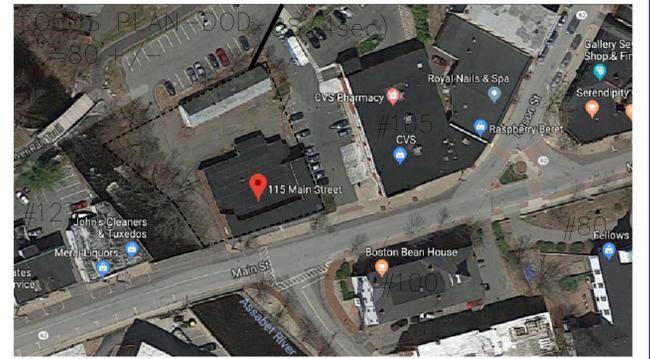
26 UNITS AT 1 & 2 BEDROOMS = 39 @ 110 GPD PER BEDROOM - 4290 GPD  
 PEAK FLOW - 3.2 TIMES 4290 GPD=5760 GPD FOR 4 HOUR PERIOD  
 8"Ø SEWER PIPE IS ADEQUATE.  
 2"Ø DOMESTIC WATER LINE IS ADEQUATE AT MINIMUM 55PSIG PRESSURE

FOR MERGING INTO STREET TRAFFIC: SIGHT DISTANCE - 88FT

(4-SECOND DISTANCE @ 15MPH)  
 NUMBER OF TRIPS OUT 26 (7 AM TO 9AM)  
 NUMBER OF TRIPS IN 26 (5 PM TO 7PM)

TRAFFIC CAPACITY 1800 VEHICLES / HR AT THE STREET

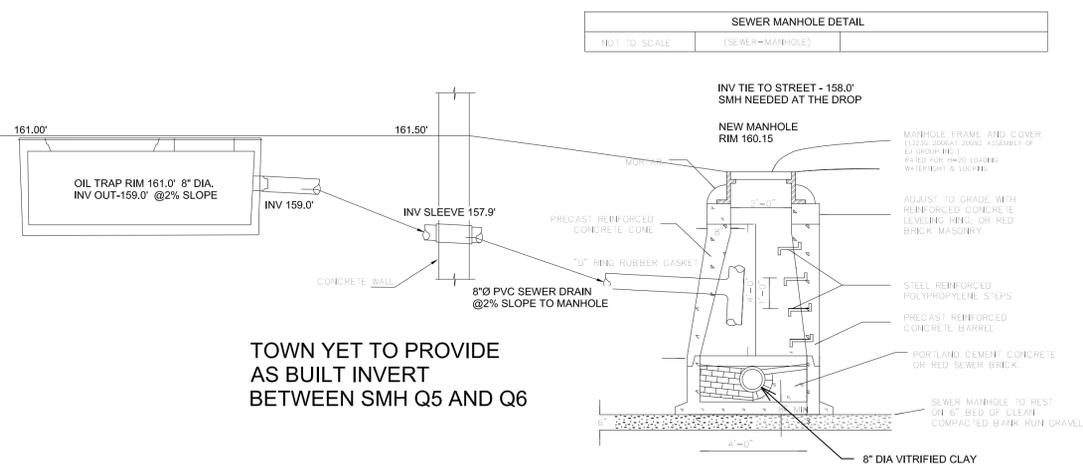
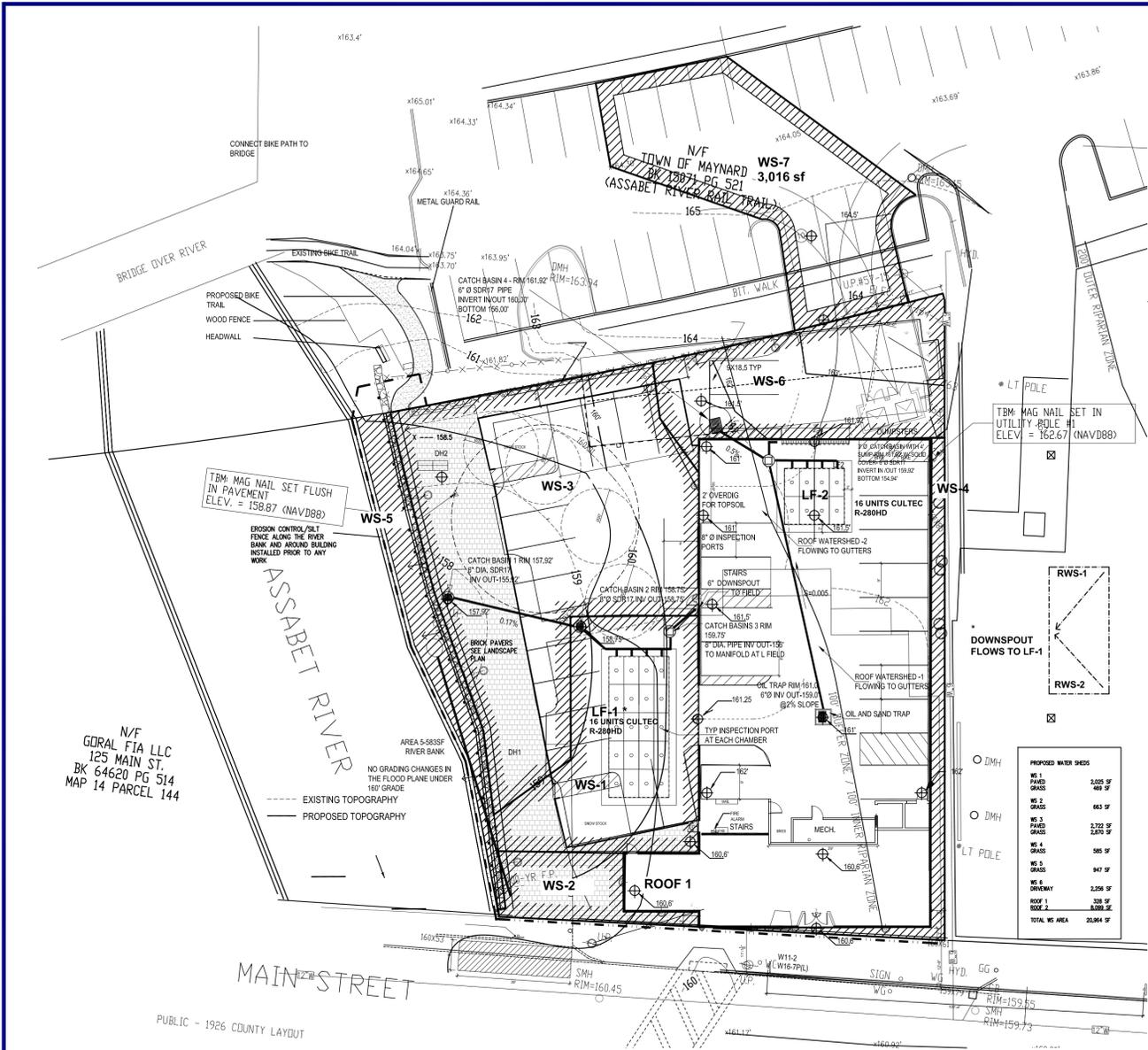
DOWNTOWN OVERLAY DISTRICT  
 MULTIFAMILY RESIDENTIAL BUILDING  
 USE GROUP - R2; TYPE OF CONSTRUCTION - 5B  
 WITH AUTOMATIC FIRE SPRINKLERS



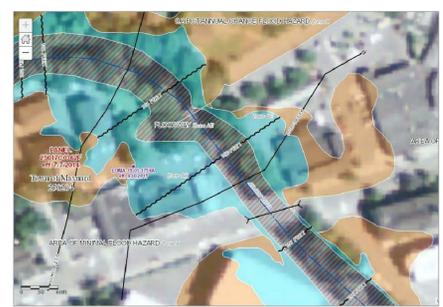
- DRAINAGE STRUCTURES - "OPERATION & MAINTENANCE PLAN":**
1. THE CATCH BASIN MUST BE CLEANED TWICE A YEAR, 1ST AT THE END OF FALL SEASON AND 2ND AT THE BEGINNING OF THE SPRING SEASON.
  2. THE DRYWELLS MUST BE INSPECTED FOR THE SILT DEPOSITS AT THE BOTTOM AT THE END OF THE WINTER. IF REQUIRED BOTTOM LAYER OF SILT BE PROPERLY REMOVED IF MORE THAN ONE INCH IN DEPTH.
  3. THE DRYWELLS MUST BE INSPECTED ONCE EVERY YEAR AND CLEANED AS DESCRIBED IN LINE 2 ABOVE. THE FREQUENCY OF INSPECTION MAY BE DECREASED TO ONCE EVERY THREE YEARS IF THERE ARE INSIGNIFICANT SILT DEPOSITS.
  4. THE ITEMS TO BE ROUTINELY MAINTAINED ARE -  
 A. CATCH BASINS (S), B. LEACHING FIELDS(2) & C. TRENCH DRAIN

**OPERATION AND MAINTENANCE:**  
 I HEREBY STATE THAT THE PROPOSED DRAINAGE STRUCTURES, UTILITY LINES AND PAVINGS SHOWN HEREON ARE DESIGNED BY ME AS PER THE CURRENT TOWN AND STATE REGULATIONS. THE STORM DRAINAGE STRUCTURES WILL BE OWNED BY THE ASSOCIATION. ALL THE CATCH BASINS, DRYWELLS & DRAINS WILL BE MAINTAINED BY THE HOME OWNER AND RECORDS OF CLEANING WILL BE SUBMITTED TO LOCAL CONSERVATION COMMISSION & / OR BOARD OF HEALTH. COPY OF THE MAINTENANCE SCHEDULE IS ATTACHED WITH HYDROLOGY REPORT

**FLOOD PLANE COMPENSATORY VOLUME REQUIREMENTS:**  
 ALL RUNOFF WILL BE DISCHARGED TO TWO LEACHING FIELDS FOR A TYPICAL INTENSITY OF 2 TO 25 YEARS WITHOUT ADDING TO THE RESOURCE AREAS AND THE STREAM. THE NET CUT OR FILL IN THE FLOOD PLANE IS ZERO CF



TOWN YET TO PROVIDE  
 AS BUILT INVERT  
 BETWEEN SMH Q5 AND Q6



FEMA PLAN

- NOTES:
- THE CONTRACTOR OR REPRESENTATIVE SHALL HAVE A RIGHT-OF-WAY PERMIT IN HAND PRIOR TO COMMENCEMENT OF WORK WITHIN THE TOWN'S RIGHT-OF-WAY.
  - THE SITE SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
  - ALL 6-INCH DRAIN PIPES SHALL BE INSTALLED WITH SLOPES BETWEEN 0.01 (1%) AND 0.005 (1/2%).
  - IF RELOCATION OF ANY WATER & SEWER UTILITIES ARE NECESSARY, ALL MATERIALS AND INSTALLATION DETAILS SHALL BE AS PRESCRIBED BY THE WATER AND SEWER DIVISION'S FIELD PERSONNEL.
  - IF RELOCATION OF ANY DRAINAGE PIPE IS REQUIRED, ADS PIPE SHALL BE USED FOR THE REPLACEMENT, WITH FERNOCO COUPLINGS TO JOIN PIPE SECTIONS.
  - ALL WORK WITHIN THE TOWN'S RIGHT-OF-WAY MUST BE COMPLETED BY NOVEMBER 15TH, INCLUDING ALL ROADWAY AND SIDEWALK RESTORATION ACTIVITIES.
  - A MINIMUM OF 5' SEPARATION SHALL BE MAINTAINED BETWEEN LEACHING FIELD AND THE PROPERTY LINE.
  - A MINIMUM 10FT DISTANCE MUST BE MAINTAINED FOR THE DRYWELLS FROM THE FOUNDATION WALLS.
  - PROVIDE 12" OF MINIMUM COVER FOR ALL LEACHING FIELDS & UTILITY PIPES.
  - DIGSAFE MUST BE INFORMED BEFORE COMMENCING ANY EXCAVATION.

**HYDROLOGY SUMMARY**  
 EXISTING LOT AREA = 21,142 SF\*  
 PROPOSED BUILDING AREA = 8,423 SF  
 EXISTING IMPERVIOUS PAVEMENT AREA = 9,123 SF  
 EXISTING PERVIOUS AREA= 1,617SF

PROPOSED IMPERVIOUS PAVEMENT AREA =6,690 SF  
 PROPOSED BUILDING AREA = 8,423 SF  
 PROPOSED GREEN AREA = 6,171  
 NET DECREASE IN IMPERVIOUS AREA = 4,234 SF  
 FAR RATIO: 1.24  
 TOTAL IMPERVIOUS AREA:15,113 SF

ALL CALCULATIONS ARE BASED ON STORM INTENSITIES HIGHER THAN NOAA ATLAS 14 TABLES. STORM RUNOFF RATE IS NOT INCREASED DUE TO PROPOSED IMPROVEMENTS FOR 2, 10 & 100 YEARS. ALL LEACHING FIELDS ARE DESIGNED FOR THE TOTAL RUNOFF FOR 100YEAR STORM WITH A RESULTING 2" PUDDLE THAT WILL INFILTRATE IN LESS THAN 6 HOURS AFTER STORM.

PREDEVELOPMENT PEAK RUNOFF RATES:  
 ALL RUNOFF SENT TO STREET AND NEIGHBORING PROPERTIES AS PER THE ORIGINAL TOPOGRAPHY.

PERIOD - DISCARDED OFF SITE  
 2YR - 1.65 CFS; 10YR -2.59 CFS;  
 100YR -4.14 CFS;

POST-DEVELOPMENT ROOF TREATED RUNOFF RATES SENT TO LEACH FIELD L1 & L2:  
 2YR - 0.71 CFS; 10YR -1.10 CFS  
 100YR -1.73 CFS

POST-DEVELOPMENT DRIVEWAY RUNOFF INCLUDING A SMALL GREEN AREA RATES:  
 RUNOFF SENT TO ON SITE LEACHING FIELDS L1 & L2:  
 2YR - 0.77 CFS; 10YR - 1.26 CFS ;  
 100YR - 2.15 CFS

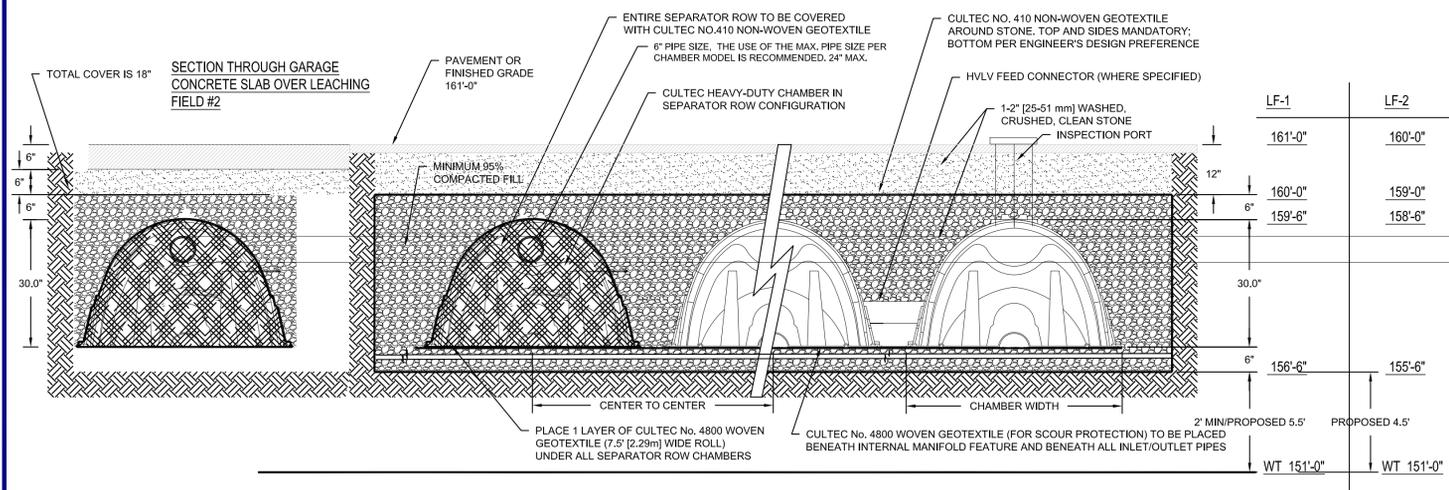
POST-DEVELOPMENT TOTAL RUNOFF RATES  
 2YR - 0.71+0.77=1.48 CFS;  
 10YR - 1.10 +1.26=2.36 CFS;  
 100YR- 1.73 +2.15=3.48 CFS

INSIGNIFICANT AMOUNT OF RUNOFF SENT TO NEIGHBORS, & 0.02CFS SENT TO RIVER FROM NO DISTURBANCE ZONE FOR 2 YR AND 0.13CFS FOR 100YR STORMS.  
 TOTAL REDUCTION IS OVER 99% OF THE EXISTING PREDEVELOPMENT RUNOFFS

REQUIRED WATER QUALITY RECHARGE OF 0.6IN FOR PROPOSED ROOF AREA 8423SF= 421CF  
 VOLUME SENT TO L1+L2 @ 2YR = 2.131CF+/-

1" RECHARGE - ACTUAL VOLUME SENT TO L1+L2 @ 2YR STORM 2,219CF FOR 6,690SF OF PAVEMENTS AT 4" AVG DEPTH

ALL ABOVE CALCS BASE ON LOAMY SAND SOILS  
 PERC RATE OF 5 MIN /INCH. 480% OF DESIGN RATE OF 24MIN/IN FOR CLASS 1 SOILS.  
 THE REPORT SUGGEST THAT PARKING PAVING ARE NOT DETRIMENTAL TO RUNOFF VALUES DIRECTLY SENT TO RIVER.

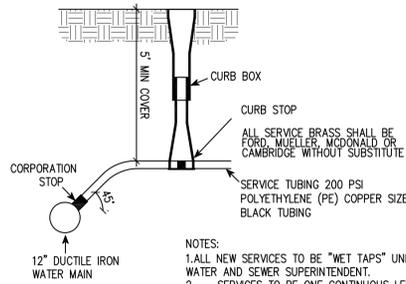


THE RECHARGER@ 330XLHD CROSS SECTION - LOWER FIELD

MOUNDING  
 CALCULATIONS NOT  
 REQUIRED

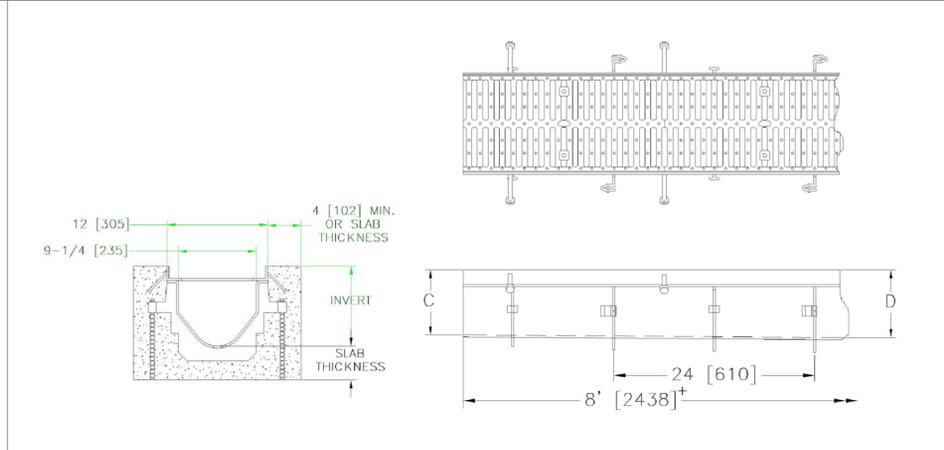
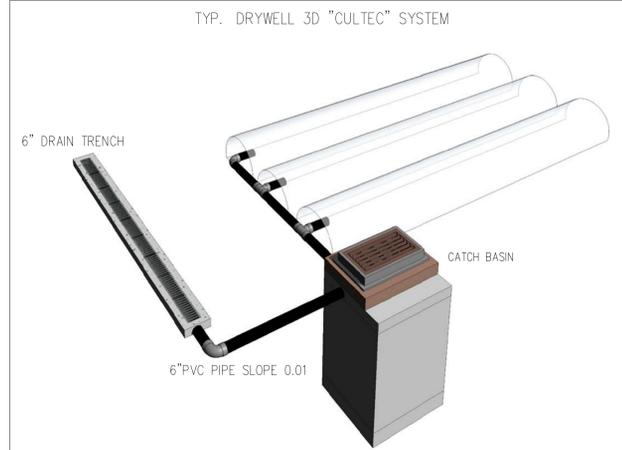
"APPROVED BY THE PLANNING BOARD"



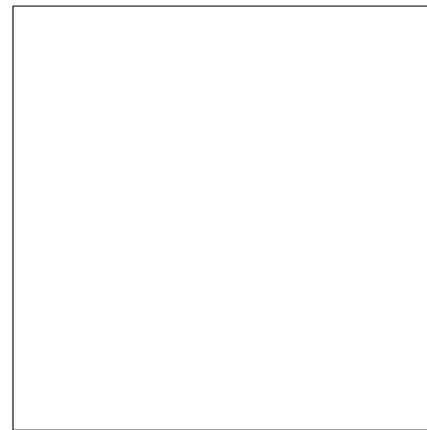


- NOTES:
1. ALL NEW SERVICES TO BE "WET TAPS" UNLESS OTHERWISE APPROVED BY THE TOWN WATER AND SEWER SUPERINTENDENT.
  2. SERVICES TO BE ONE CONTINUOUS LENGTH OF TUBING FROM WATER MAIN TO CURB STOP (NO UNIONS ALLOWED).
  3. NO SERVICES WILL BE ACCEPTED UNTIL SUCH TIME AS WATER & SEWER REPRESENTATIVE HAS OCCUPIED AND OPERATED THE VALVE TO HIS SATISFACTION.
  4. NO CURB BOX REQUIRED FOR THE FIRE LINE.

SERVICE TUBING CONNECTION



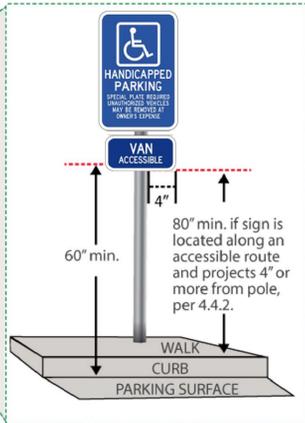
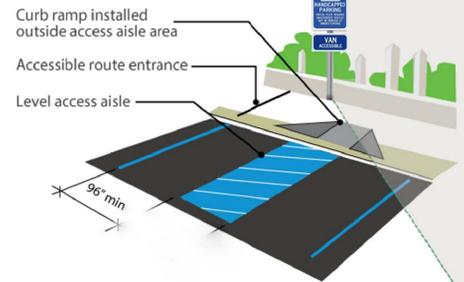
TYPICAL TRENCH DETAILS - ZURN MAKE



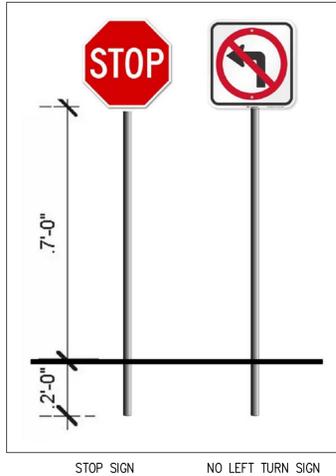
DOWNTOWN OVERLAY DISTRICT  
MULTIFAMILY RESIDENTIAL BUILDING  
USE GROUP - R2: TYPE OF CONSTRUCTION - 5B  
WITH AUTOMATIC FIRE SPRINKLERS

TYPICAL TRENCH DETAILS - ZURN MAKE

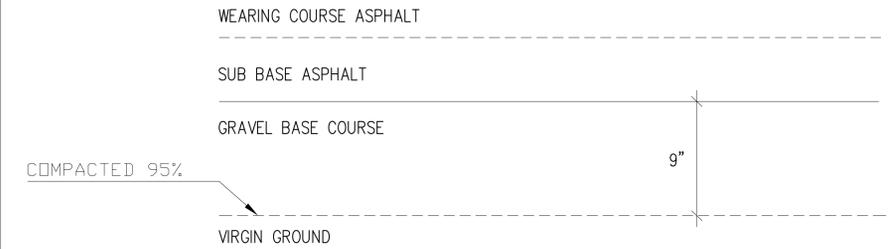
Sign with international symbol of accessibility and "van accessible" designates van accessible parking



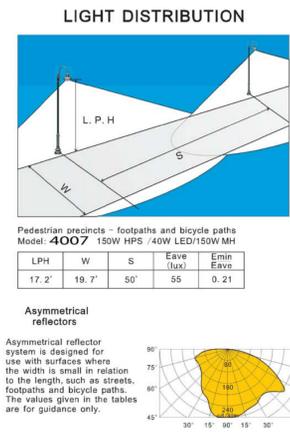
ALL SIGNS SHOULD MEET MUTCD STANDARDS



PROPOSED PAVING 1 1/2" WEARING COURSE, 2" BASE COURSE, 9" GRAVEL SUBBASE OVER COMPACTED 95% VIRGIN GROUND.

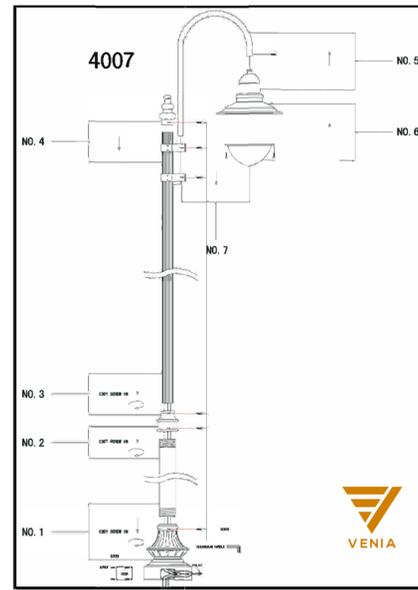


SECTION THROUGH PROPOSED ASPHALT PAVEMENT  
NOT TO SCALE



**Dark Sky Municipal Quality Street Light Package**

| Technical Specs     |                     | Technical Specs    |                      |
|---------------------|---------------------|--------------------|----------------------|
| Type                | Direct Wire         | Connection         | Threaded             |
| Lamp Base           | E26 Medium Base     | Fixture Material   | Cast & Spun Aluminum |
| Standard Lamp Type  | LED Corn Lamp       | Color              | Black                |
| Dusk to Dawn Sensor | Yes                 | Lens Material      | PMMA                 |
| Standard Voltage    | 120-277VAC, 50/60Hz | Lens Replacement   | Yes                  |
| Watts               | 12-54w              | Light Distribution | Type V               |
| LED Temp            | 3000K, 4000K, 5000K | Fixture Warranty   | 1 Year               |
| Lumens              | 1620-7290           | LED Lamp Warranty  | 5 Year               |
| Lamp IP             | IP64                |                    |                      |



"APPROVED BY THE PLANNING BOARD"

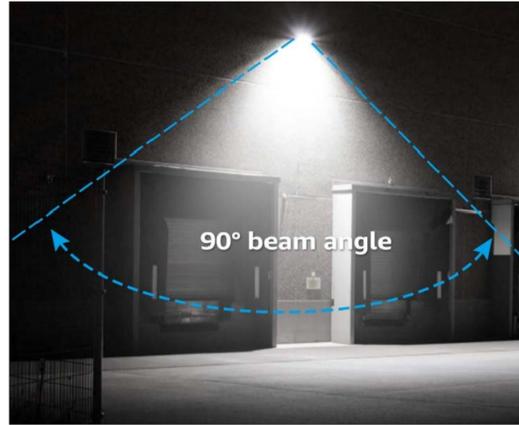
-----

-----

-----

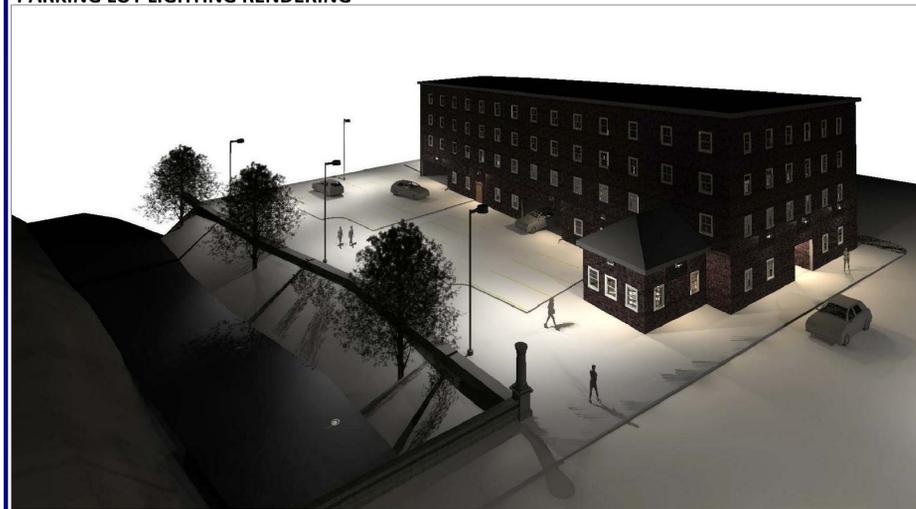
-----

"APPROVED BY THE PLANNING BOARD"

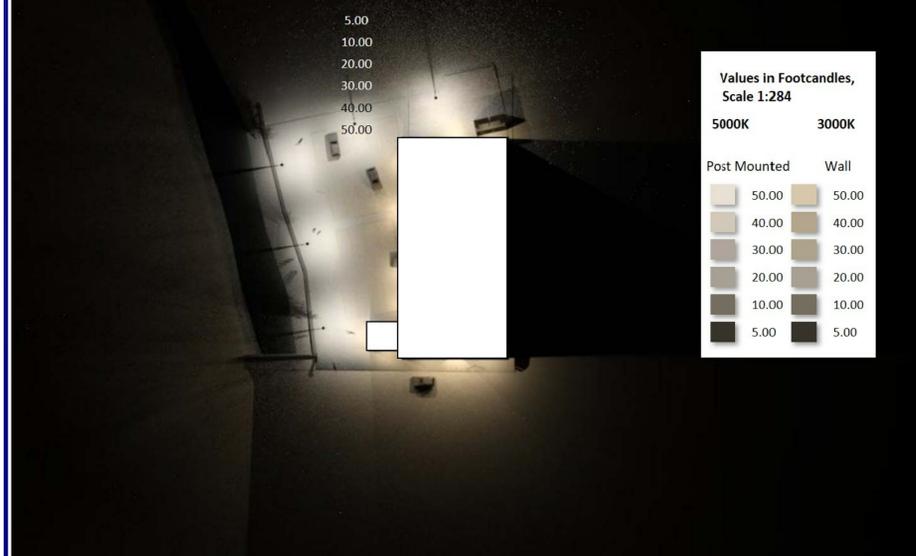


MAXIMUM CUT OFF LIGHTING 90 DEGREE BEAM ANGLE

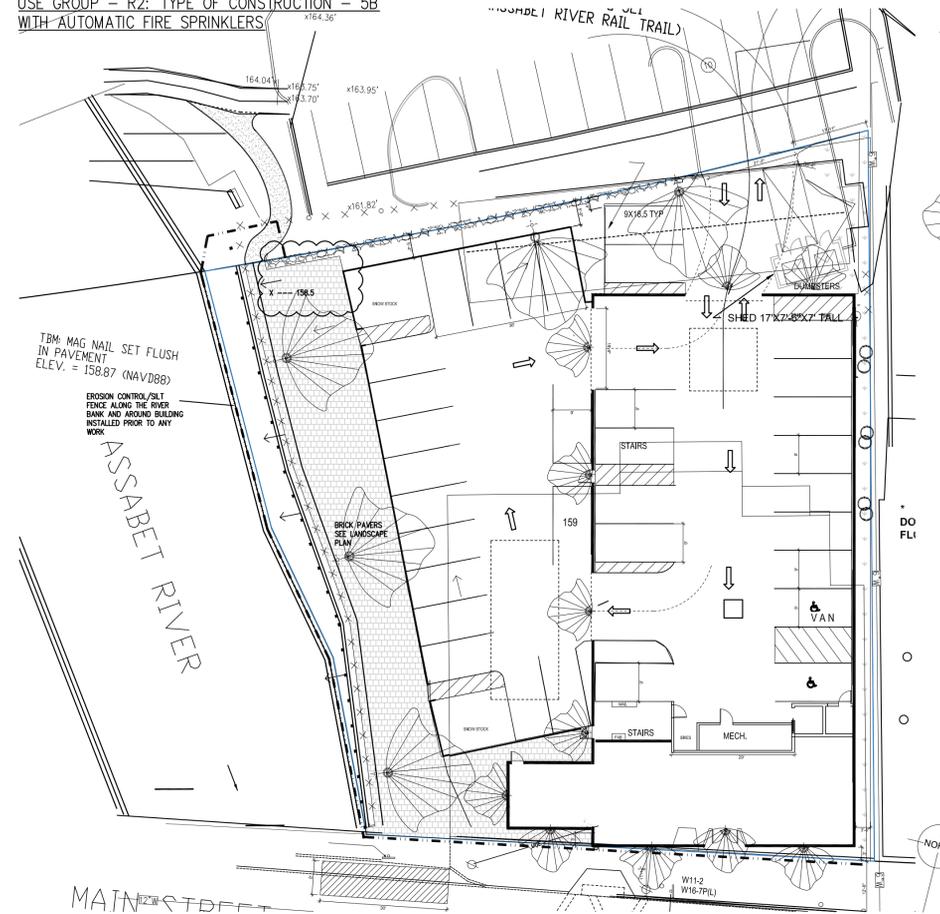
PARKING LOT LIGHTING RENDERING



Parking Lighting Calculation Surface Isolines (E, Horizontal)



DOWNTOWN OVERLAY DISTRICT  
MULTIFAMILY RESIDENTIAL BUILDING  
USE GROUP - R2: TYPE OF CONSTRUCTION - 5B  
WITH AUTOMATIC FIRE SPRINKLERS



DARK SKY STREET LIGHT  
www.gotitwholesale.com

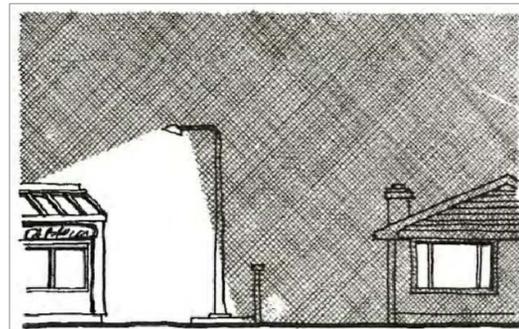
LED ADJUSTABLE WALL PACK 60W, 7809 LUMENS, 4000K

LIGHTING POST AND LIGHT PROJECTION

THE EDGE OF LIGHT PROJECTION ON THE GROUND IS MINIMUM 0.21 LUX AND THE MAXIMUM IS 55 LUX UNDER THE LAMP.

AREAS BETWEEN THE POSTS WILL BE WITH MINIMUM LIGHT INTENSITY SO THAT NOT TO CAUSE LIGHTING POLLUTION.

CUT OFF LIGHTING ON POST LIGHTING SAMPLE



PARKING LOT LIGHTING GUIDE LINES

GOAL:

EXTERIOR LIGHTING SHOULD BE USED TO PROVIDE ILLUMINATION FOR THE SECURITY AND SAFETY OF ENTRY DRIVES, PARKING, SERVICE AND LOADING AREAS, PATHWAYS, COURTYARDS AND PLAZAS, WITHOUT INTRUDING ON ADJACENT PROPERTIES. SITE LIGHTING SHALL BE ARCHITECTURALLY COMPATIBLE AND CONSISTENT IN DESIGN BETWEEN SITES.

GUIDELINES:

MAKE ALL PARKING LOT LIGHT FIXTURES SIMILAR IN DESIGN FOR ALL SURFACE PARKING AREAS

SELECT METAL HALIDE LIGHTING WITH A CONCEALED LIGHT SOURCE OF THE "CUT-OFF" VARIETY TO PREVENT GLARE AND "LIGHT TRESPASS" ONTO ADJACENT BUILDINGS AND SITES.

PROVIDE SEPARATE, PEDESTRIAN SCALE LIGHTING FOR ALL PEDESTRIAN WAYS THROUGH PARKING LOTS.

MAXIMUM HEIGHT OF PARKING LOT POLES IS 24 FEET MEASURED FROM FINISH GRADE.  
LOCATE POLES IN MEDIANS WHEREVER POSSIBLE WITH A MAXIMUM BASE HEIGHT OF TWO (2) FEET.



OWNER: Project Plans For:  
MAYNARD SQUARE  
115 MAIN STREET  
MAYNARD MA

OWNER: James Macdonald-781 307 1684  
MacDonald Development  
115 Main Street, Maynard, MA01754

DRAWING TITLE: PROPOSED  
SITE LIGHTING

DESIGNED BY:  
LALA ASSOCIATES ENGINEERS LLC  
LIC.#40460-C(MA)  
37 OLD VILLAGE ROAD  
ACTON, MA 01720  
(978)337-5252  
lalaengineers@gmail.com

SCALE: 1"=20'  
DATE: 1-6-2020  
DRAWN BY: DRV/KL  
REVISID:  
APPROVED:

DRAWING #  
**C4**



EXISTING DRIVEWAY



MAIN STREET



REAR EXISTING PARKING



CVS MAIN ST ENTRANCE



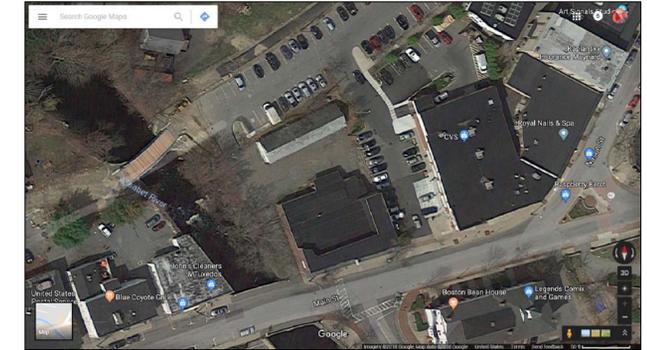
MAIN STREET VIEW



MAIN ENTRANCE AND BRIDGE



EXISTING MAIN ENTRANCE



SITE PLAN VIEW GOOGLE IMAGE



CVS ENTRANCE EXISTING BUILDING



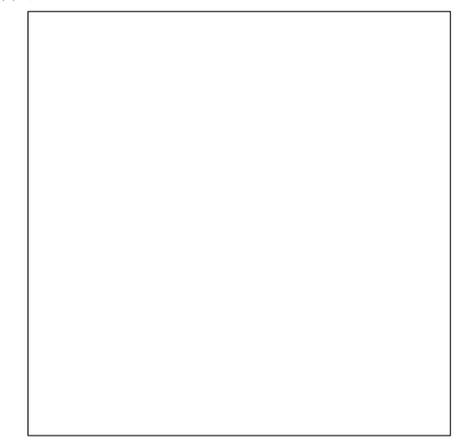
EXISTING SHED TO BE DEMOLISHED



EXISTING PARKING LOT

"APPROVED BY THE PLANNING BOARD"

Five horizontal dashed lines for signature or approval.



DOWNTOWN OVERLAY DISTRICT  
MULTIFAMILY RESIDENTIAL BUILDING  
USE GROUP - R2: TYPE OF CONSTRUCTION - 5B  
WITH AUTOMATIC FIRE SPRINKLERS

|  |   |                                |   |  |                            |                        |
|--|---|--------------------------------|---|--|----------------------------|------------------------|
| OWNER: Project Plans For:<br>MAYNARD SQUARE<br>115 MAIN STREET<br>MAYNARD MA | OWNER: James Macdonald-781 307 1684<br>MacDonald Development<br>115 Main Street, Maynard, MA01754 | DRAWING TITLE: EXISTING PHOTOS | DESIGNED BY:<br>LALA ASSOCIATES ENGINEERS LLC<br>LIC.#40460-C(MA)<br>37 OLD VILLAGE ROAD<br>ACTON, MA 01720<br>(978)337-5252<br>lalaengineers@gmail.com | SCALE: AS SHOWN<br>DRAWN BY: DRV/KL<br>APPROVED: | DATE: 1-6-2020<br>REVISED: | DRAWING #<br><b>C5</b> |
|--|---|--------------------------------|---|--|----------------------------|------------------------|



"APPROVED BY THE PLANNING BOARD"

-----

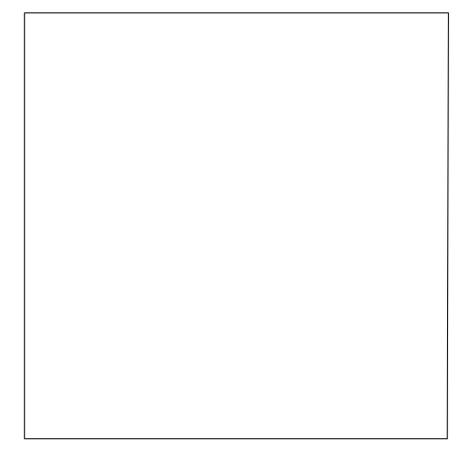
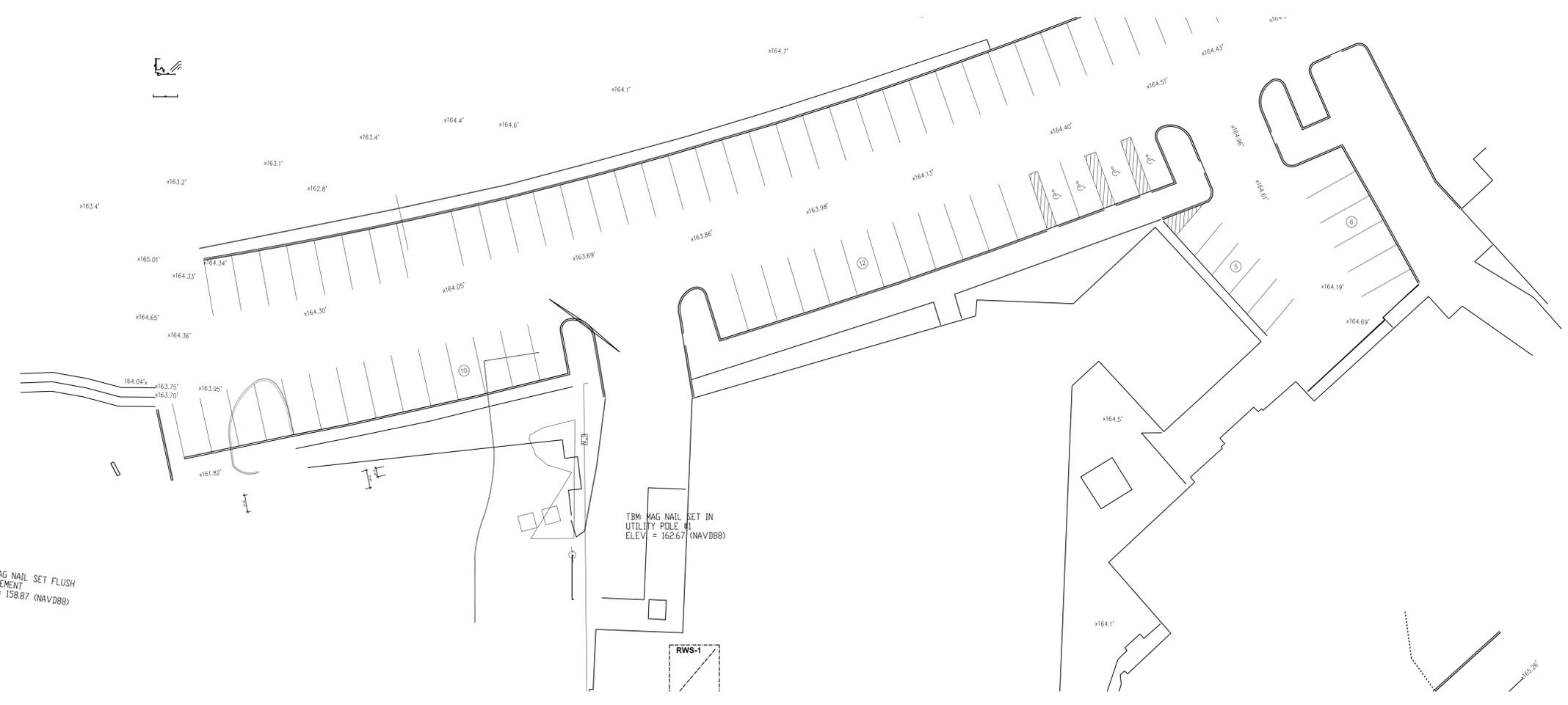
-----

-----

-----

-----

← SHED 17'X7'-6"X7' TALL

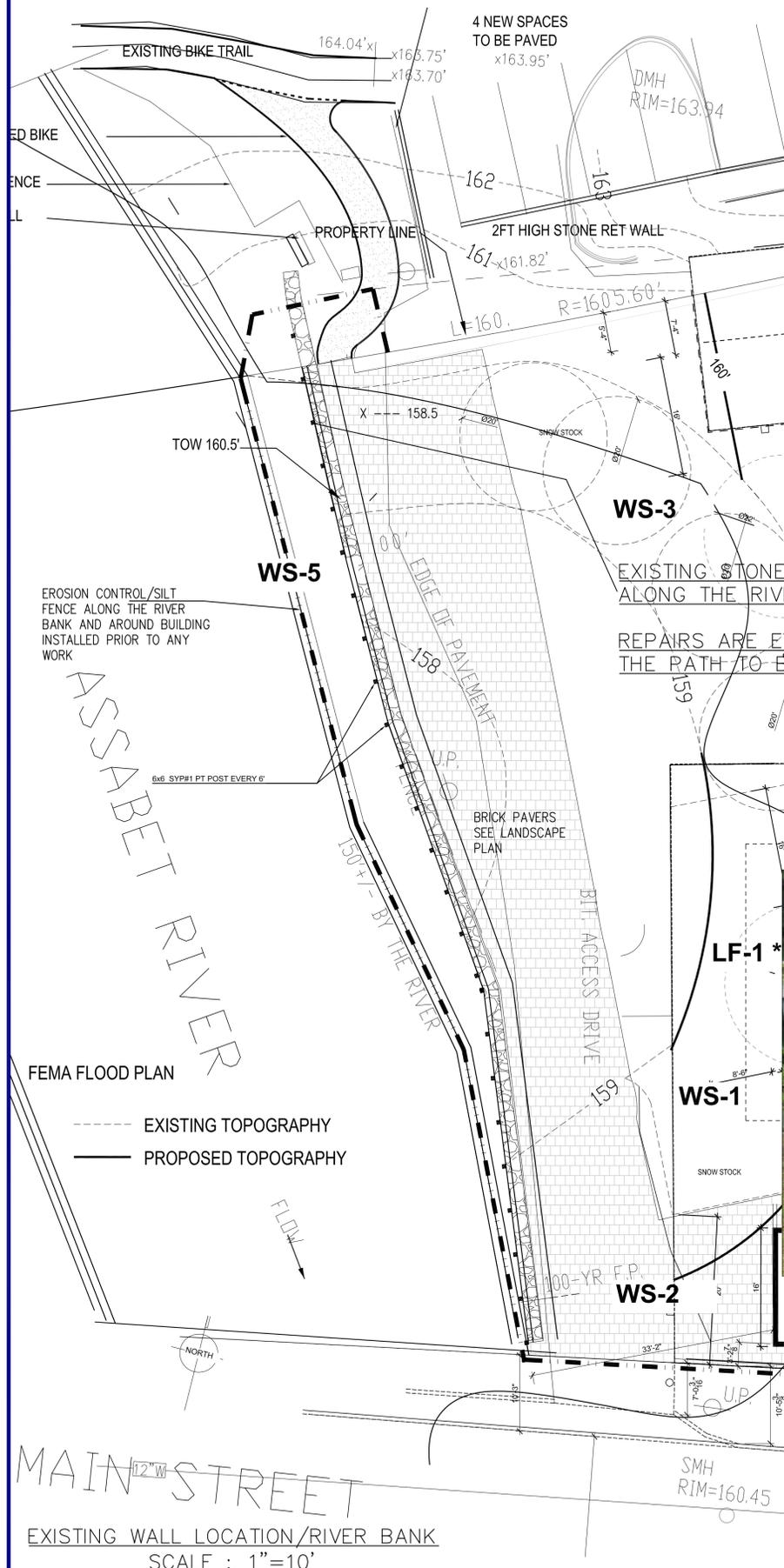


TBM MAG NAIL SET FLUSH IN PAVEMENT ELEV. = 158.87 (NAVD88)

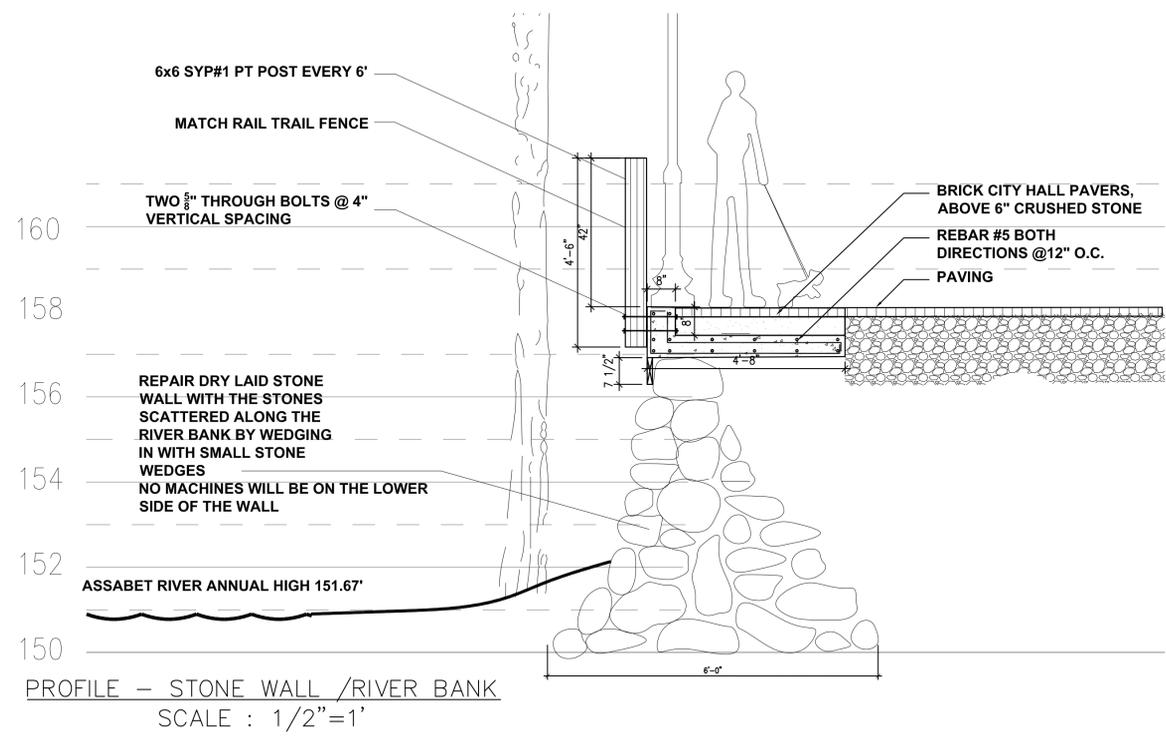
TBM MAG NAIL SET IN UTILITY POLE #1 ELEV. = 162.67 (NAVD88)

RWS-1

|  |  |  |  |   |                                    |                                |
|--|--|--|--|---|------------------------------------|--------------------------------|
| <p>OWNER: Project Plans For:<br/>MAYNARD SQUARE<br/>115 MAIN STREET<br/>MAYNARD MA</p> | <p>OWNER: James Macdonald-781 307 1684<br/>MacDonald Development<br/>115 Main Street, Maynard, MA01754</p> | <p>DRAWING TITLE: Proposed Municipal<br/>Lot Re-Striping</p> | <p>DESIGNED BY:<br/>LALA ASSOCIATES ENGINEERS LLC<br/>LIC.#40460-C(MA)<br/>37 OLD VILLAGE ROAD<br/>ACTON, MA 01720<br/>(978)337-5252<br/>lalaengineers@gmail.com</p> | <p>SCALE: 1"=10'<br/>DRAWN BY: DRV/KL<br/>APPROVED:</p> | <p>DATE: 1-6-2020<br/>REVISED:</p> | <p>DRAWING #<br/><b>C7</b></p> |
|--|--|--|--|---|------------------------------------|--------------------------------|



EXISTING RAIL TRAIL FENCE  
5"  $\phi$  ROUND VERTICAL BARS 4 1/2" O.C. IN HOLES DRILLED IN 2x6 PT BOTTOM RAIL LAGGED TO POST WITH TWO 1/2"  $\phi$  3" SPACING AND SIMILAR AT TOP RAIL



PLAN APPROVED BY CONSERVATION COMMISSION.....

DOWNTOWN OVERLAY DISTRICT  
MULTIFAMILY RESIDENTIAL BUILDING  
USE GROUP - R2: TYPE OF CONSTRUCTION - 5B  
WITH AUTOMATIC FIRE SPRINKLERS

"APPROVED BY THE PLANNING BOARD"

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_